



# AGENDA

Lake Park Town Commission  
Town of Lake Park, Florida  
Town Commission and  
Planning and Zoning Board  
Mixed-Use Corridor Workshop  
Wednesday, December 9, 2015, 6:00 p.m.,  
Lake Park Town Hall  
535 Park Avenue

<b>James DuBois</b>	—	<b>Mayor</b>
<b>Kimberly Glas-Castro</b>	—	<b>Vice-Mayor</b>
<b>Erin T. Flaherty</b>	—	<b>Commissioner</b>
<b>Michael O'Rourke</b>	—	<b>Commissioner</b>
<b>Kathleen Rapoza</b>	—	<b>Commissioner</b>
.....		
<b>John O. D'Agostino</b>	—	<b>Town Manager</b>
<b>Thomas J. Baird, Esq.</b>	—	<b>Town Attorney</b>
<b>Vivian Mendez, CMC</b>	—	<b>Town Clerk</b>

PLEASE TAKE NOTICE AND BE ADVISED, that if any interested person desires to appeal any decision of the Town Commission, with respect to any matter considered at this meeting, such interested person will need a record of the proceedings, and for such purpose, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. *Persons with disabilities requiring accommodations in order to participate in the meeting should contact the Town Clerk's office by calling 881-3311 at least 48 hours in advance to request accommodations.*

- A. **CALL TO ORDER/ROLL CALL**
- B. **PLEDGE OF ALLEGIANCE**
- C. **DISCUSSION and PUBLIC COMMENTS:**
  - (1) Welcome/ Introductions
  - (2) Review of Mixed-Use Initiative
  - (3) Proposed Zoning and Comprehensive Plan Considerations
  - (4) Unveiling of the Graphics
  - (5) Complete Streets/Streetscape Improvements
  - (6) Closing Remarks / Next Steps
- D. **ADJOURNMENT**



Town of Lake Park Town Commission

Agenda Request Form

Meeting Date:

Agenda Item No.

Agenda Title: Federal Highway Mixed-Use Overlay Zoning District (MUZ)  
Workshop – LET’S CREATE A BUZZ FOR THE MUZ!

- SPECIAL PRESENTATION/REPORTS
  - BOARD APPOINTMENT
  - ORDINANCE ON 1<sup>st</sup> READING
  - NEW BUSINESS
  - OTHER: WORKSHOP DISCUSSION
- CONSENT AGENDA
  - OLD BUSINESS

Approved by Town Manager *[Signature]* Date: 12/4/15

*Nadia Di Tommaso / Community Development Director* *ND*  
 Name/Title

<b>Originating Department:</b>  <p style="text-align: center;"><b>Community Development</b></p>	Costs: \$ <b>Consultant (invoice not yet received – will adhere to agreement)</b> Funding Source: <b>500-34000</b> Acct. # _____ <input type="checkbox"/> Finance _____	<b>Attachments:</b> <ul style="list-style-type: none"> <li>→ Proposed MUZ Zoning Provisions</li> <li>→ PBC Preferred Plant List Guide</li> <li>→ Complete Streets Report</li> <li>→ Capacity Analysis</li> <li>→ Comprehensive Plan Considerations</li> </ul>
<b>Advertised:</b> Date: _____ Paper: _____ <input checked="" type="checkbox"/> Not Required	All parties that have an interest in this agenda item must be notified of meeting date and time. The following box must be filled out to be on agenda.	Yes I have notified everyone <b>ND (through flyers and direct mail)</b> or Not applicable in this case <b>Please initial one.</b>

Summary Explanation/Background:

*Let’s create a BUZZ for the MUZ!*

The purpose of this agenda item back-up is to be able to initiate more of a technical discussion on the Mixed-Use Overlay Zoning District (MUZ) for the Federal Highway Corridor. The proposal herein is not intended to include ALL the relevant sections that would otherwise be included in a standard Ordinance, but rather aims to address some pertinent Mixed-Use categories that staff, and its team of

consultants, believe are suitable provisions for Lake Park's Federal Highway corridor. We hope to both address your comments from the first workshop during the second workshop discussion, as well as interactively through a series of illustrations. An important factor staff and its team of consultants considered when putting together the various components for the MUZ, was the ability to incorporate flexibility by using a guideline approach rather than a prescriptive code language approach.

This is still a work in progress and will likely be until its creation. The reason this workshop is extremely important for the creation of the MUZ is because we WANT TO HEAR FROM ALL STAKEHOLDERS and provide you with the opportunity to share your input.

Mixed-Use is certainly not a new concept, however each community can benefit from Mixed-Use developments along their main streets for a very basic reason: *it creates an environment to live, work, and play* and ultimately creates a synergy within the community that allows for all its components to blossom.

Please refer to the enclosed provisions/list of documents.

**Recommended Motion: DISCUSSION ITEM ONLY.**

# Mixed-Use Overlay Zoning District (MUZ)

## Town of Lake Park, FL

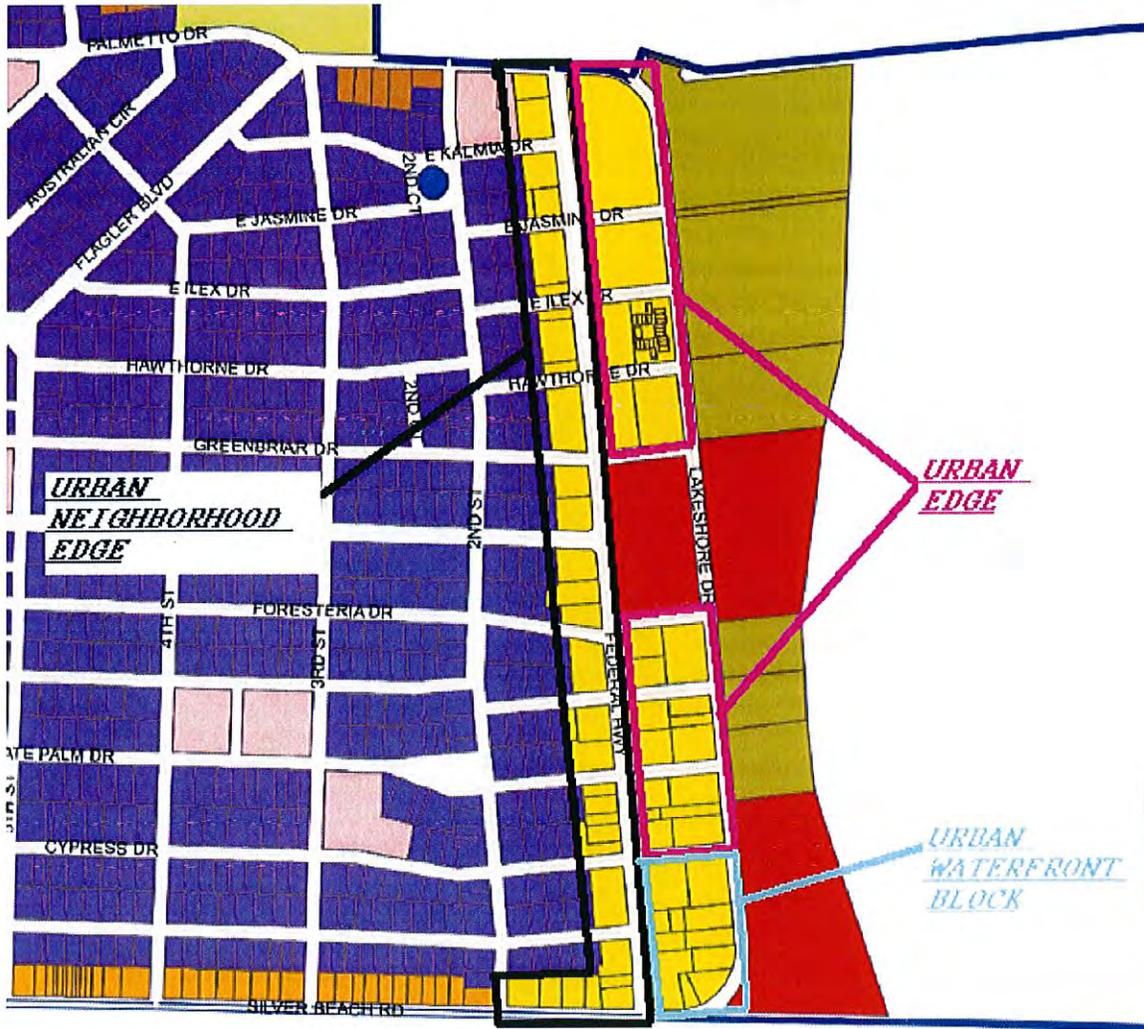
Nadia Di Tommaso, Community Development Director

Scott Schultz, Town Planner

Bell David Planning Group

# Mixed-Use Overlay Zoning District (MUZ)

Figure 1: Mixed-Use area and sub-districts



The following mixed-use zoning overlay district provisions represent a commercial/residential zoning classification that permits, rather than mandates, a vertical mix of commercial and residential uses within the same building or parcel, for horizontal development. The overlay district is intended to accommodate a physical pattern of development often found along main streets and downtowns and in neighborhood commercial areas of older cities. This development pattern known as mixed-use are characterized by high quality urban design principles and serve as economic engines.

*Primary Smart Growth Principle Addressed:* Mix of land uses

*Secondary Smart Growth Principle Addressed:* Compact building design

## **Purpose**

The purpose of the Mixed-Use Overlay Zoning District (MOZ) is to:

- (1) Provide an additional development option; and
- (2) Accommodate mixed-use buildings with neighborhood-serving retail, service, and other uses on the ground floor and residential units above the nonresidential space;
- (3) Encourage development that exhibits the physical design characteristics of pedestrian oriented, storefront-style shopping streets; and
- (4) Promote the health and well-being of residents by encouraging physical activity, alternative transportation, and greater social interaction.

## **Applicability**

The standard regulations contained in this chapter shall apply to the MOZ, except as otherwise added to or modified herein.

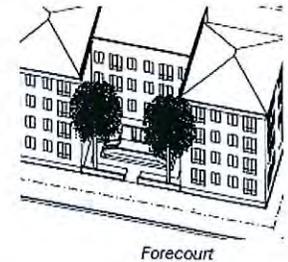
The area within the boundaries of the MOZ is divided in three Sub-districts: Urban Neighborhood Edge, Urban Edge, and Urban Waterfront Block as identified in Figure 1. The highest density and intensity within the MOZ shall be allocated to the Urban Waterfront Block, the area adjacent to the Lake Park Marina and shall only be developed as mixed-use if residential enclaves are not created. The Urban Waterfront Block is also the Sub-District which can incorporate commercial uses on the ground floor and within the upper floors. The second highest densities and intensities shall then be allocated to those parcels located on the east side of North Federal Highway, with the lowest densities and intensities on the west side of North Federal Highway.

All mixed-use developments must include a North Federal Highway frontage which shall consist of ground floor commercial that can extend along the side streets up to half a block deep and internal to the remainder of the site. Upper floor commercial is also permitted along North Federal Highway and a half a block deep on the side streets and internal to the remainder of the site. Mixed-Use developments on the east side of Federal Highway (except within the Urban Waterfront Block Sub-district) and on the west side of Federal Highway at Silver Beach Road, shall incorporate residential uses and facades facing Lake Shore Drive and along Silver Beach Road (behind the parcel fronting North Federal Highway) pursuant to the residential design guidelines found herein.

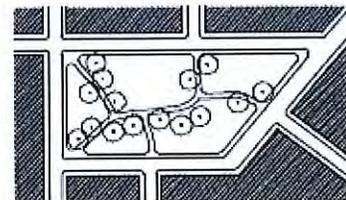
## Definitions

1. **Accessory Building:** An enclosed building that is subordinate to and not the main or principal building on a lot or parcel.
2. **Accessory Structure:** An unenclosed structure that is subordinate to and not the main or principal building on a lot or parcel and that is used: as a garden feature, such as a fountain, gazebo or cabana; for recreation, such as a pool or hard courts; for the accommodation of mechanical equipment, such as a pump, a/c compressor or electrical generator units; or similar uses.
3. **Building Frontage:** The portion of the building required to be located along the build-to line.
4. **Building placement diagrams:** Diagrams that provide a schematic representation of the permissible footprints and profiles of structures.
5. **Build-to Line:** A line parallel to the block face, along which a building shall be built.
6. **Clear Zone (Visibility Triangles):** As defined in the Town's general landscape code.
7. **Colonnade:** A roofed structure, extending over a private walkway that is open to the street and sidewalk except for supporting columns or piers.
8. **Fenestration:** Design and position of windows, entrances, and other structural openings in a building.

9. **Forecourt:** The front yard area defined by three sides of the principal building and a low garden wall parallel to the street, making the space suitable for gardens and outdoor seating. At street corners, the forecourt edges are defined by two (2) principal building walls and a low gardens wall parallel to the street.



10. **Green:** An outdoor open space that shall not be hard surfaced for more than twenty (20) percent of the area exclusive of dedicated streets. The landscapes shall consist primarily of lawn, trees, and gardens structures.



Green

11. **Live-work building:** A mixed-use building type with residential dwelling units located above work spaces.
12. **Main street:** A vehicular and pedestrian thoroughfare lined primarily with mixed-use buildings, as depicted on the *Complete Streets* report.

13. **Minor Street:** A street that is predominantly residential in character.
14. **Mixed-use building / Mixed-use development:** A mixed-use building is a building that includes a combination of two or more vertically integrated uses, such as retail and/or office uses on the ground floor, with residential uses above. A mixed-use development may include horizontal use-type differentiation however, those buildings facing Federal Highway, must be mixed-use buildings with commercial and residential frontages. Buildings facing Lake Shore Drive may be mixed-use buildings however, the façade uses facing Lake Shore Drive and the first 100 feet along the side streets, must be residential facades, except the Urban Waterfront Clock as long as a zoning enclave is not created within this block; if a development cannot acquire the necessary parcels to avoid an enclave, this parcels facing Lake Shore Drive within the Urban Waterfront Block can only be built using the underlying zoning district requirements. All mixed-use development must include a Federal Highway frontage component if Lake Shore Drive is included in the project.
15. **On-street parking:** Parking on a public or private street.
16. **Pedestal:** The bottom portion of a building that creates the street frontage.
17. **Pedestrian passages:** Interconnected paved walkways that provide pedestrian passage through blocks and that connect directly with the network of sidewalks and open spaces.
18. **Penthouse:** Topmost built area of a building with a floorplate area less than that of the tower below.
19. **Permeable Materials:** Materials used for paving parking lot and roadway surfaces that allow stormwater run-off to infiltrate the ground, such as porous concrete, porous asphalt, concrete, brick, stone or similar materials.
20. **Plaza:** An outdoor open space fronted by mixed-use, retail, and office uses. A minimum of fifty (50) percent and a maximum of seventy-five (75) percent of the plaza's area, exclusive of dedicated streets, shall be hard surfaced. The landscape of plazas shall consist primarily of hard-surfaced areas, permanent architecture or water-oriented features, and trees that are placed in an orderly fashion and that are regularly spaced.
21. **Storefront:** The first story portion of a mixed-use building consisting of habitable space used for business, office, or institutional purposes.
22. **Story:** an enclosed floor level within a building containing habitable space.
23. **Street:** Any thoroughfare, such as a public street, private street, or easement that affords primary access to abutting property.
24. **Tower:** The middle portion of a building above the pedestal and below the penthouse.
25. **Urban Edge** means a Sub-district of the Mixed-Use Overlay Zoning District with the second possible highest mixed-use density and intensity as identified in Figure 1. Structures may be a maximum of 10 stories.

26. **Urban Neighborhood Edge** means a Sub-district of the Mixed-Use Overlay Zoning District with the lowest possible mixed-use density and intensity as identified in Figure 1. Structures may be a maximum of 6 stories.
27. **Urban Waterfront Block** means a Sub-district of the Mixed-Use Overlay Zoning District with the highest possible mixed-use density and intensity as identified in Figure 1. Structures may be a maximum of 15 stories.
28. **Weather Protection Features:** Architectural features that provide protection from the sun and rain, including without limitation, colonnades, awnings, bus shelters, or projecting roofs.

## **Zoning Uses**

No land, body of water, or structure shall be used or permitted to be used, and no structure shall be hereafter provided in this article. The following regulations outline permitted uses in the MUMS (Mixed-Use Main Street Overlay Zoning District).

### **Land Uses in General.**

1. **Outdoor uses/enclosed uses.** All uses shall be conducted within completely enclosed buildings, except outdoor uses expressly permitted in this article. Materials and products shall be stored within an enclosed building or within an area completely enclosed within walls having a life expectancy of twenty (20) years or more from the date of installation. Storage shall not be visible above the height of the walls. Commercial vehicles shall be stored or parked within an enclosed building or an area enclosed by a fence, wall, or hedge, and out of the view from adjacent properties.
2. **Indoor/Outdoor Operations.** All permitted uses in the MU overlay zoning district must be conducted within completely enclosed buildings unless otherwise expressly authorized. This requirement does not apply to off-street parking or loading areas, automated teller machines, or outdoor seating areas.
3. **Mixed Use.** The vertical or horizontal integration of residential, business and office, and institutional uses shall be permitted as provided herein. Vertical integration allows any combination of primary uses, with business uses typically located on the ground floor and office and/or residential uses on the upper floors. Horizontal integration allows any combination of parcels with different primary uses within the same block.
4. **Temporary Uses.** Temporary uses including seasonal tent sales; stands for the sale of flowers, fruit and similar uses; and festivals and farmers' markets are permitted, are subject to the special event permit provisions and signage application, as applicable, and are subject to the following conditions:
  - a. Except for the following, no temporary use shall be permitted for more than fourteen (14) consecutive days and the time between temporary activities shall be at least three times as long as the duration of the last event.

- i. A temporary use for the sale of holiday related items such as holiday trees, fireworks, and similar items shall be permitted for thirty (30) consecutive days leading up to the holiday date.
- ii. A temporary use that occurs on two (2) or less consecutive days shall be permitted weekly.

**B. Land Use Groups.** The uses listed following each group in this section shall be permitted in the land use categories shown in the *Permitted Uses Table* subject to the provisions noted for each land use category. Uses provided in *Permitted Uses Table* below not listed in this subsection shall be permitted subject to the provisions noted for each land use area. The Director shall have the authority to determine that a use not specifically enumerated below may nevertheless be permitted in a land use category because it is similar to an enumerated use.

1. **Accommodation Uses:** Facilities that provide short-term lodging including hotels, motels, rooming houses, bed and breakfasts, and similar uses.
2. **Automotive Uses:** Establishments specializing in the service or repair of automobiles; automobile tire sales and replacement; automobile parts sales and installation; sales of new and used automobiles; and gas stations or other form of stations used for the powering/charging of automobile vehicles.
3. **Child Care Facilities:** Child care facilities shall be those defined by the State Department of Children and Families. Child care facilities shall provide outdoor recreation areas.
4. **Civic Uses:** Uses that are accessible to the public and serves the religious, recreational, educational, cultural and/or governmental needs of the community. Civic uses include, but are not limited to: convention halls or meeting halls; private clubs; libraries; schools; police stations; fire stations; post offices; clubhouses; religious buildings; museums; athletic facilities; auditoriums theaters, movie theaters, and other visual and performance arts buildings; and governmental facilities. The architecture of a civic use building shall reflect its civic nature. The sale of alcohol, if provided, shall be ancillary to the primary civic use and shall comply with the Town Code.
5. **Private Colleges/Universities:** Facilities that serve the educational needs of the adult population. This group shall include universities; colleges; commuter colleges; trade schools; and similar uses.
6. **Commercial Parking Garage:** Structures that provide parking as the primary on-site use. These facilities offer short-term parking of vehicles and may charge a fee for such use. This group includes: shared parking facilities; shuttle parking facilities; and transit park-and-ride facilities. This group shall not include parking facilities that are ancillary to another on-site use.

7. **Health Care Services:** A facility that provides out-patient health care services to the local community. These facilities shall include: clinics; doctor's office; dentist's offices; federally qualified health centers; urgent care facilities; diagnostic centers including sleep centers; and similar uses. These facilities shall not provide in-patient care.
8. **Drive-Through Facilities:** Drive-through facilities associated with a retail use, personal service establishment or restaurant.
9. **Entertainment Use:** Uses in this group shall include: nightclubs; arcades; movie theaters; performance theaters; radio, movie and/or television studios; billiard halls; skating rinks; bingo halls; piano bars; adult entertainment uses (as defined by the Town Code); bowling alleys; and similar uses. The sale of alcohol, if provided, shall be ancillary to the primary entertainment use and shall comply with the Town Code.
10. **Food/Beverage Establishments:** This group shall include: full service restaurants; fast food restaurants; bars and pubs; and similar uses. The sale of alcohol, if provided, shall comply with the requirements of the Town Code.
11. **General Retail/Personal Service Establishments:** Establishments that provide goods and services geared toward an individual consumer. This group shall include businesses such as: banks; beauty parlors; adult day care; bakeries; bookstores; apparel stores; grocery stores; pharmacies; tailor shops; health clubs; gift shops; indoor pet care centers/boarding and indoor kennels (soundproofed and air-conditioned building required); vehicle retail showrooms; and similar uses. This group shall also include schools offering instruction in dance, music, martial arts and similar activities, but this group shall not include colleges/universities.
12. **Group Residential Home:** A dwelling unit licensed by the State of Florida Department of Children and Families that serves resident clients and provides a living environment for six or fewer unrelated residents who operate as a functional equivalent of a family. Uses in this group shall include: nursing homes, assisted living facilities; congregate living facilities; foster care facilities; community residential homes; group homes; and other similar uses. Services that support the daily operation of group homes are permitted and shall include dining facilities, doctor's offices, nurse's offices, staff offices, recreation rooms, and similar facilities and services.
13. **Live/work Units:** An individual residential unit integrated with a general retail/personal service establishment, professional business office, or workshop.
14. **Professional Business Offices:** Facilities used primarily for the business of professionals with only limited transactions occurring on-site. This group shall include offices for: accountants; architects; appraisers; attorneys; consulates; financial firms; insurance adjusters; realtors; medical offices and other uses found by the Director to be similar.
15. **Residential Uses:** Single-family detached homes, urban villas, courtyard houses, sideyard houses, duplexes, rowhouses, apartments (including student housing), and other similar uses, when incorporated horizontally into a mixed-use development that includes mixed-use buildings

fronting Federal Highway. Home offices are permitted pursuant to the Town Code regulations for Home Occupations.

All developments having a Lake Shore Drive frontage shall only incorporate residential uses facing Lake Shore Drive and along the first 100 feet extending west from Lake Shore along the side streets (or west along Silver Beach beyond the first parcel). This does not apply to the Urban Waterfront Block as long as a zoning enclave is not created within this block. If a development cannot acquire the necessary parcels to avoid a zoning enclave, those parcels facing Lake Shore Drive within the Urban Waterfront Block can only be built using the underlying zoning district requirements. All mixed-use development must include a Federal Highway frontage component if Lake Shore Drive is included in the project.

**Permitted Uses Table – The following uses as defined herein, shall be permitted in the MUMS Overlay Zoning District.**

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***Residential Uses:***

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**Multi-Family Units:** If incorporated in a mixed-use building fronting Federal Highway or within a multi-family building whose residential units front Lake Shore Drive or the first 100 feet of building frontage extending west from Lake Shore Drive. Maximum allowable dwelling units pursuant to the density requirements of the Comprehensive Plan.

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**Live/Work Units:** If incorporated in lieu of residential units, they shall be considered residential units for conformance purposes. Commercial signage is not permitted on the exterior walls of live/work units. The following uses (or similar uses) shall be permitted in connection with a residence in a live-work unit – shall be used as a reference:

- a. antique shops
- b. art goods stores, artist studios, galleries
- c. artisanal use
- d. bakeries
- e. cabinet shops
- f. dance studios
- g. health and exercise clubs
- h. interior design shops
- i. office uses
- j. photography labs
- k. pottery shops
- l. restaurants, excluding drive-through service
- m. secondhand stores
- n. shoe stores
- o. other similar uses as determined by the Community Development Director.

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**Civic Uses:**

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**Religious Facilities**

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**Schools/Academies**

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**Group Residential Home:** Shall meet the following requirements - Three (3) occupants shall be deemed to be one (1) dwelling unit, and the maximum number of dwelling units allowed shall be equal to the permitted residential density AND The proposed group residential home shall not be located within a radius of one thousand two hundred (1,200) feet of another existing, unabandoned, legally established group residential home. The 1,200-foot distance requirement shall be measured by following a straight line from the nearest portion of the structure of the proposed use to the nearest portion of the structure of the existing use.

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**Health Care Services**

**General Retail/Personal Service Establishments:** General retail and personal service establishment shall be limited to forty thousand (40,000) square feet of ground floor area; a greater ground floor area for such uses shall only be permitted if approved as a special exception.

- a. Indoor pet kennels shall be permitted subject to the following conditions: (i) all kennel buildings shall be soundproofed and air-conditioned; (ii) where outside exercise runs are provided, a landscaped buffer or decorative masonry wall shall enclose the runs, and use of the runs shall be restricted to use during daylight hours; (iii) where outside exercise runs are not provided, an outside area shall be designated for dogs (or cats) to relieve themselves, and that area shall be enclosed by a landscape buffer or masonry wall; (iv) an administrative site plan review (ASPR) shall be required, and the site plan shall show all fencing, berms, and soundproofing designed to mitigate the noise impact of the kennel on the surrounding properties. All animal-related uses are subject to a special exception use application pursuant to the Town Code.
- b. Automotive uses shall only be permitted through a special exception use application as set forth in the underlying zoning district use requirements.
- c. The following additional uses shall only be permitted if approved as special exceptions: on-site storage of vehicles; and outdoor pet kennels subject to the conditions set forth in Section 33-255 (9.1) of this chapter, except that ASPR shall not be required if a site plan is approved upon public hearing.

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**Automotive Uses:** Automotive uses, including gas/service stations, shall only be permitted through a special exception use application as set forth in the underlying zoning district use requirements.

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**Professional Business Offices**

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**Colleges/Universities/Private Academies**

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**Entertainment Uses:** Adult entertainment uses are prohibited.

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**Accommodation Uses:** Hotel/Motel uses shall not exceed seventy the maximum density permitted by the land use category. One hotel room shall equal one dwelling unit.

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**Child Care Facilities**

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**Food/Beverage Establishments:** Outdoor table service and outside walk-up window service in conjunction with restaurants and coffee houses may be provided subject to the following requirements:

The restaurant furniture located on the sidewalk shall maintain a minimum five (5) foot wide obstacle-free corridor for pedestrian circulation along the sidewalk. Alcoholic beverages may be served outdoors only where such service is strictly incidental to the service of food.

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**Drive-Through Facilities:** Drive-through facilities shall be permitted only when such facilities are 100% concealed from streets by buildings or walls that are architecturally compatible with the overall site design.

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**Commercial Parking Garage:** Shall meet the parking code requirements. Exposed surface parking is discouraged. Internalized commercial parking garages with linear buildings are encouraged. Linear buildings facing LakeShore Drive and the first 100 feet extending west from Lake Shore Drive along the side streets shall incorporate softened residential-like façade features onto exterior linear building facades.

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## **Setbacks**

The MUZ provides flexibility in setbacks with the Federal Highway side being dictated by the 5-foot landscape buffer as defined herein, with an additional 10 feet for walkways and/or outdoor dining areas. These improvements are in addition to the Complete Streets initiative which aims to provide an enhanced sidewalk area with landscaping improvements for Federal Highway. A street side activity component is required on at least 30% of the frontage facing Federal Highway. Side street lot lines, interior lot lines and lot lines facing Lake Shore Drive are also dictated by the landscape buffer width requirements found herein. Essentially, the build-to lines (i.e. frontage table requirements) will be dictated by the buffer requirements and added walkway/circulation *requirements (this item needs to be worked through more in detail)*.

## BUILDING PLACEMENT STANDARDS (EXAMPLES)

### MIXED-USE MULTI-FAMILY

Min: Minimum

Max: Maximum

Req: Required

— Build to Line

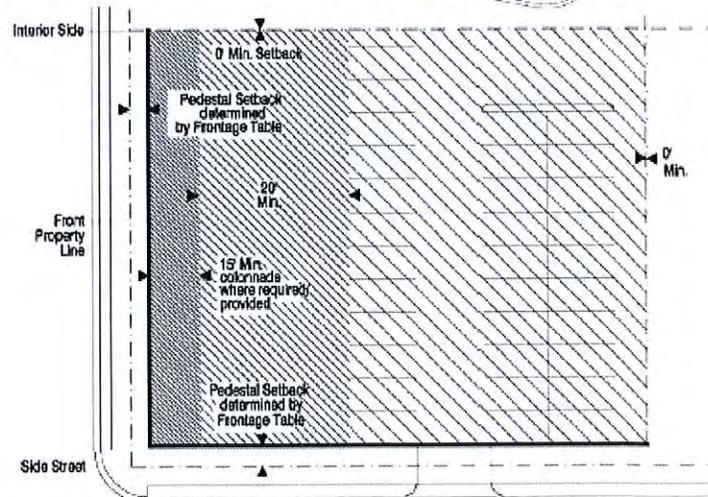
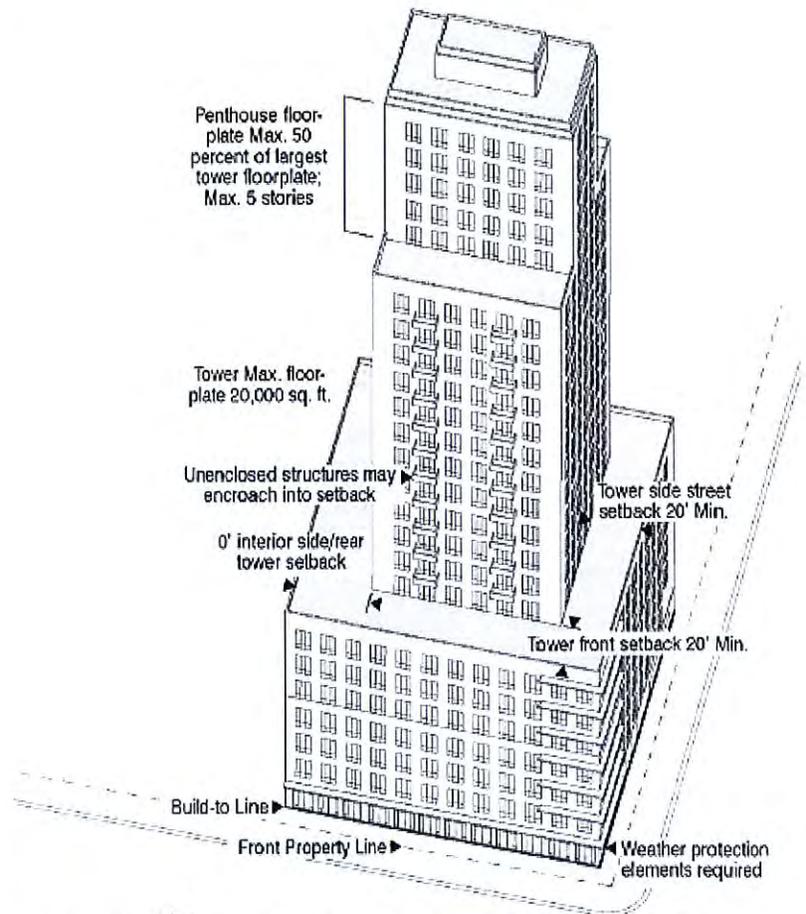
- - - Property Line

▨ Colonnade

▧ Habitable Space

▩ Parking and / or allowable building area

- a. Building Frontage Required: Seventy (70) percent minimum at build-to-line. Minimum frontage requirement applies along the front property line only.
- b. Build-to-lines or street setback requirements shall be measured from the edge of sidewalk.
- c. All on-site parking shall be accessed from a service road or the lowest ranking street.
- d. The vehicular entry width permitted shall be a maximum of thirty-three (33) feet.
- e. The minimum interior side/rear setback for the pedestal, tower, and penthouse shall be zero (0) feet.
- f. Where a wall or fence is used to screen parking areas along streets, a five (5) foot landscape strip with a hedge shall be required in front of the wall or fence.
- g. Colonnades shall be two (2) stories high and a minimum of fifteen (15) feet deep. The colonnade depth shall not exceed the colonnade height. The exterior of the colonnade shall be no closer than two (2) feet from the curb line.



## MIXED-USE MULTI-FAMILY

Min: Minimum

Max: Maximum

Req: Required

— Build to Line

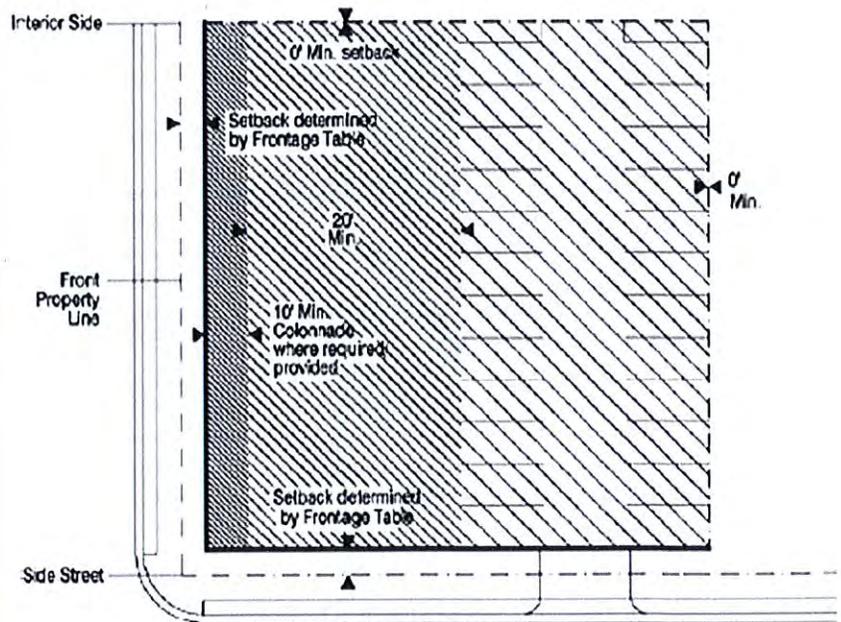
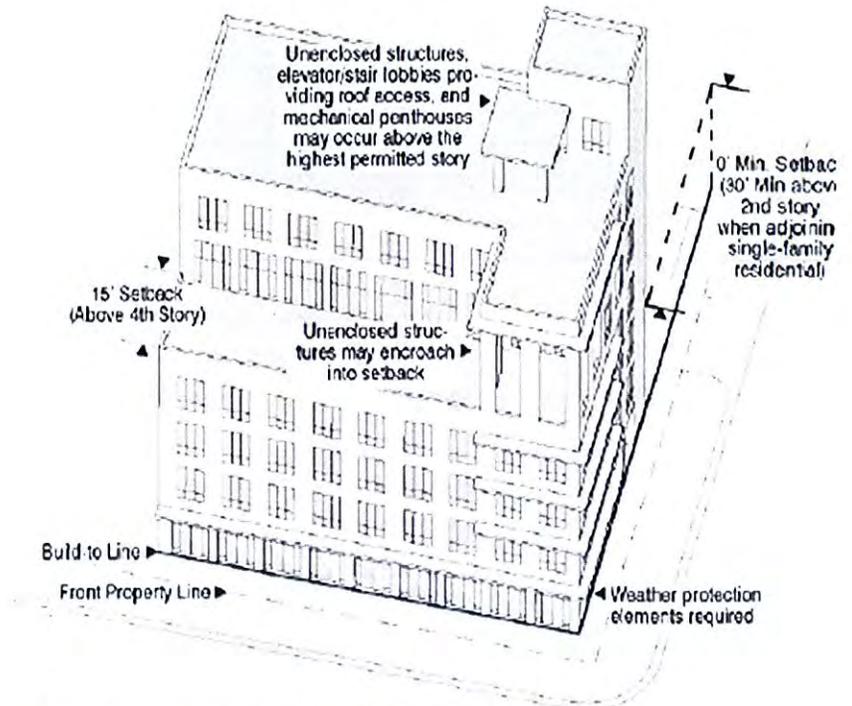
- - - Property Line

▨ Colonnade

▧ Habitable Space

▩ Parking and / or allowable building area

- Building Frontage Required: Seventy (70) percent minimum at build-to line in all Sub-districts. Minimum frontage requirement applies along the front property line only.
- Build-to-lines or street setback requirements shall be measured from the edge of sidewalk.
- The interior side/rear setbacks shall be as shown above.
- When provided, the front setback shall be hard surfaced and finished to match the adjoining sidewalk. A minimum of five (5) feet clear width within the setback shall be kept unobstructed for pedestrians.
- All on-site parking shall be accessed from the service road or lowest ranking street.
- Where a wall or fence is used to screen parking areas along streets, a five (5) foot landscape strip with a hedge shall be required in front of the wall or fence.
- Above the fourth story the setback shall be from the property line.



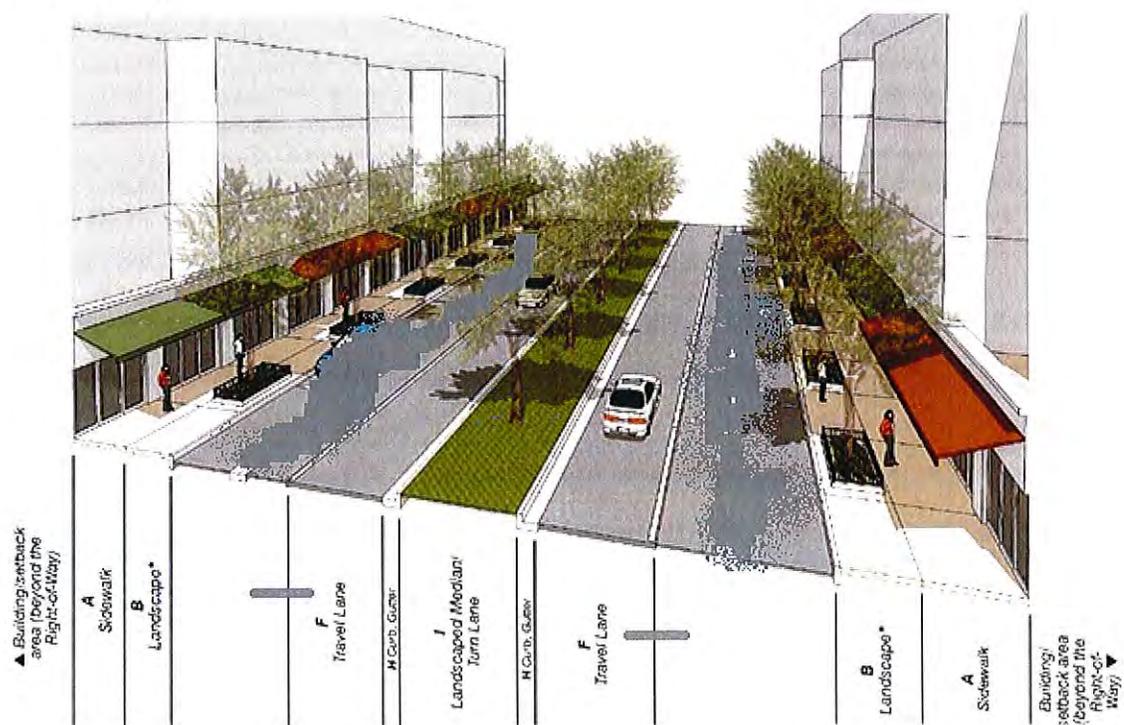
## **General Requirements**

### **A. Buildings**

1. Storefronts shall be provided on the first floor of mixed-use buildings and shall be directly accessible from a street frontage or a designated open space as follows:
  - a. For properties with two or more frontages, storefronts shall be located on a minimum of two frontages, with priority given to frontages on a designated open space and the primary street.
  - b. Storefronts shall have a transparent clear glazed area of not less than seventy (7) percent of the façade area and shall be occupied by habitable uses that generate pedestrian activity and provide surveillance to the street. Security enclosures, if any, shall be of the mesh type that pedestrians can see through, and shall be located behind the storefront displays.
2. All colonnades shall comply with the following:
  - a. Finished floor of the colonnade shall match the adjoining sidewalk.
  - b. Colonnades shall have a minimum unobstructed clear height of twelve (12) feet and a minimum clear width twelve (12) feet. Awnings shall be permitted, but shall not count towards the required colonnades. Colonnades shall not cause roof drainage into the street. Colonnades shall be attached to buildings. In no instance shall the depth of a colonnade exceed the colonnade's height.
  - c. Free-standing colonnades are exempt from the build-to line requirement.
3. A minimum of thirty (3) percent of all building streetwalls shall be fenestrated with windows. Mirror type glass is prohibited. All glazing shall be of a type that permits view of human activities and spaces within the structure. Colonnade column spacing, windows, and doors shall be proportioned such that the height of each opening is greater than its width. At least fifty (5) percent of the area of security screens and gates shall be transparent.
4. The height of an accessory building shall not exceed the height of a principal building.
5. An open, covered, or paved connections between an accessory building and a strictly residential component of the mixed-use development, may be built within the required ten (10) foot spacing as shown in the Building Placement Standards
6. Weather protection features shall be required along provided storefronts.
7. Awnings, balconies, stoops, stairs, open porches, and bay windows shall be permitted to extend into the minimum required setbacks, to a maximum of: Roof eaves, chimneys, signs,

and ramps may encroach into all setbacks. Porticoes, canopies, and colonnades shall be guttered, and drainage shall be deposited onsite.

8. Where a zero (0) foot setback is permitted, roof eaves, bay windows, and balconies may encroach beyond the property line a maximum of three (3) feet, except when abutting private property. In all Sub-districts, awnings may encroach into the street no more than six (6) inches from the face of the curb. All street encroachments shall be a minimum of eleven (11) feet above the sidewalk.
9. Service areas shall be located out of the view from adjacent properties or from the street and shall be fully screened by a wall or fence.
10. The primary entrance of a building shall provide access to a street or a designated open space. The primary entrance to the upper levels of a mixed-use building with colonnades shall be through the colonnaded area along the front property line.
11. Each story shall have a maximum height of sixteen (12) feet, as measured from floor to floor. Any height above sixteen (12) feet shall count as an additional story, except that buildings with less than six (6) stories may have a single story with a maximum height of thirty (30) feet, provided that no mezzanine area is intended for commercial use exceeds ten (10) percent and no mezzanine area intended for residential use exceeds eighty (80) percent of the floor area of that story. Multiple levels of parking shall be permitted within this single story.
12. Stories shall be scaled back at the 3<sup>rd</sup> story and every 4 stories thereafter so as to a recessed interest to the structure.
13. A live-work unit shall have two components: a workshop and a residential unit. The workshop shall be located on the first floor and shall be directly accessible from the primary street frontage or a designated open space. The workshop's facade shall have a transparent clear glazed area of not less than seventy (70) percent of the façade. The residential component of a live-work unit shall connect internally with the work component.
14. Complete Street Types: See the *Complete Streets Proposed Report* – FRONTAGE TABLES (to be discussed)



## Street Type Required Elements

	Sidewalk /Walkway (Min.)	Landscape	Curb/ Gutter	Travel Lanes	Additional Travel/Turn Lanes (Min.)	Curb/ Gutter
<b>Service Road Type</b>	N/A	N/A	N/A	10'	N/A	N/A
<b>Pedestrian Passage Type</b>	10'	Tree grates; tree planters	N/A	N/A	N/A	N/A
<b>Complete Street Type</b> (No on-street Parking – No Bicycle Lanes)	8' (Center)	Tree grates; tree planters (5 feet); AND continuous landscape strip in center median area (11 feet)	2'	11'	11' where provided	2'

## Open Spaces and Recreation Areas.

1. Open spaces under this article shall be classified as (a) designated, or (b) private open spaces.
  - a. Designated open spaces shall be subject to the following requirement:
    - i. The street area on the side adjoining the designated open space and consisting of the curb, street tree landscape strip and sidewalk shall count towards the square footage of the open space.
  - b. Private open spaces shall be subject to the following requirements:
    - i. Private open spaces shall be provided in the form of colonnades, courtyards, terraces, lawns, community gardens, and landscaped roof terraces/gardens on buildings or garage structures. Designated open spaces shall count towards the private open space requirement. Lakes, golf courses, and parking lot buffers shall not count towards the open space requirement.
    - ii. All multi-family residential, non-residential and mixed-use developments shall reserve a minimum of ten (10) percent of the site for common, private open space.

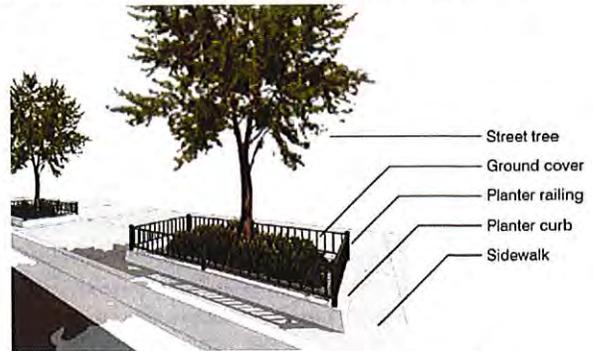
- iii. Private open spaces shall be shaded, and their ground surface shall be a combination of paving materials, lawn, ground cover, flowers, fruits or vegetables. Enclosures of private open spaces shall comply with the requirements herein.
- c. Community gardens shall be permitted in all land use categories to satisfy private open space requirements, subject to the following restrictions:
  - i. Cultivated and harvested products may only be sold at permitted farmers markets and at grocery stores.
  - ii. The raising or sale of livestock or poultry is prohibited.
  - iii. Only hand held tools shall be permitted in the cultivation and harvesting process. Use of heavy agriculture equipment is prohibited.
  - iv. All tools, equipment and products used to grow and harvest plant material shall be stored in an enclosed structure
  - v. Gardens shall only be tended between sunrise and sunset.

## **Landscaping**

Except as provided herein, landscape shall be provided as required by Town Code. Specific landscape requirements are as follows:

### ***PART 1 - Complete Streets Initiative***

1. Street trees (max spacing of 20 feet – minimum 6 inch diameter at breast height), hedges (min. 4 feet high planted 2-feet on center), and additional plantings that add color and distinction are required. All buffer trees shall be spaced no greater than 20 feet apart. Please refer to the **“County’s” Preferred Plant List Schedule as a reference guide – Town will look to adopt a similar guide.**



- i. Tree planters. Trees are planted within a raised planter located on the sidewalk. The planter shall be defined on all sides by a permanent masonry structure to consist of a minimum six (6) inch raised curb. The area within the planter, in addition to the required trees, shall be planted with ground cover, shrubs, or other appropriate plant material.
- ii. Continuous landscape strips within center medians. Trees are planted in the area between the curb or roadway edge and the sidewalk. This area, in addition to the required trees, shall be planted with grass.

## **PART 2 – PRIVATE PROPERTY LANDSCAPING**

2. Private Property: Five (5)-foot landscape buffers widths are required along Federal Highway and along the side streets. The widths can be achieved using diamond cutout features whereby the centerline of the diamond is at least 5 feet wide and plantings shall be spaced no more than 20 feet apart. Landscape buffers along Lake Shore Drive and interior lot lines adjacent to residential parcels shall be a minimum of 10-feet wide and incorporate a combination of trees (max spacing of 20 feet for Lake Shore Drive and 40 feet for interior lot lines), hedges (min. 4 feet high planted 2-feet on center), and additional plantings that add color and distinction.

*The plant list shall be revised and the County's example is being used as a reference.*

### **Parking**

Except as provided herein, parking shall be provided as required by Town Code.

1. Multi-story parking garages and parking lots, shall count toward all parking requirements except for the parking requirements of individualized residential-type developments that are incorporated within a mixed-use development, but require their own individualized parking (for example, row houses or urban villas).
2. At a minimum, parking shall be provided as follows:

Parking must be internalized so as to not represent the primary street front feature, but rather liner buildings or other architectural design techniques shall be utilized to screen the parking from all street sides. Parking spaces are permitted to be 9 feet by 17 feet. Office and retail uses require 4 spaces 1,000sf; restaurants 10 spaces per 1,000 square feet of customer service area; residential averages 1.5 spaces per unit plus 1 guest space per 3 units and a pick-up/drop-off area for which the dimensions will be determined by necessity based on incorporated uses. Additional loading/unloading is required for restaurants and an additional loading space for office/retail uses. A common area can be utilized and loading area must be justified by the developer's mix of uses and respective needs. Mixed-Use Developments that extend from Federal Highway to Lake Shore Drive shall eliminate curb cuts along Lake Shore Drive, except for developments within the Urban Waterfront Block.

**Multi-Family Residential Dwelling Units:** 1 space / 1 bedroom unit ; 1.5 spaces / 2 bedroom unit / 1.75 spaces / 3 or more bedroom units ; plus 1 guest space for every 3 dwelling units.

**Dwelling Units for the Elderly:** 0.5 spaces per dwelling unit and 1 space per 3 dwelling units.

**Hotel/Motel:** 1 space for each of the first 40 guests and 1 space per 2 guest rooms over 40.

**General Retail/Personal Services and Entertainment Uses:** 4 spaces per 1,000 square feet of gross floor area.

**Professional Business Offices and Health Care Services:** 1 space per 400 square feet of gross floor area.

**Food/Beverage Establishments:** 10 spaces per 1,000 square feet of patron area.

**Live-work units:** 1 space per residential unit, plus 1 space per each 375 square feet of workshop area.

**Live-work buildings:** Shall comply with residential requirements for dwelling units and commercial requirements for non-residential uses.

3. Parking reduction. Reductions may be applied for and shall be based on shared parking scenarios as defined by the Town Code. Valet may also be incorporated for up to 50% of the required parking for non-residential uses, pursuant to the Town Code requirements. A valet lot used to meet non-residential parking requirements may be located off-site.
4. Mixed-use, multi-family residential, or non-residential developments in all Sub-districts may provide the required parking off-site, where the off-site parking is within seven-hundred fifty (750) feet of the development and in a land use designation that is similar to or higher intensity than the land use designation of the development being served. Any certificate of use for mixed-use, multi-family residential, or non-residential development shall immediately terminate in the event such parking area is not available. An applicant for approval of a mixed-use, multi-family residential or non-residential development with off-site parking shall execute and record in the public records of Palm Beach County a declaration of restrictions approved by the Town Attorney covenanting that such development shall cease and terminate upon the elimination of such parking area, and that no development requiring such parking shall be made of such property until the required parking area is available and provided.
5. All parking may be in the form of parking garage structures or parking lots which shall be located in the rear or on one side of the building, and shall be screened from the street. Parking is not permitted in setback areas required along street frontages and liner buildings or architectural features shall be used to screen internalized parking garages.
6. Parking garage structures shall be screened by a liner building containing a minimum depth of twenty (20) feet of habitable space for all stories along the primary frontage, and for parcels with three (3) or more frontages, on at least two (2) frontages. For all other frontages, architectural features of a parking structure shall appear consistent and harmonious with that of habitable space. On parcels having a lot depth at any one point of less than one-hundred fifty (150) feet, as measured from the front property line, a liner building shall only be required on the ground floor. Ground floor architectural liner features shall be consistent and harmonious with that of non-residential features incorporated onsite. No vehicles parked within the structure shall be visible from the street. Access to parking garages is prohibited along Lake Shore Drive.

**Lighting – Per the Town’s Lighting Code**

1. Street lighting shall comply with the following:
  - a. Street lighting shall be provided in these areas: commercial and live-work unit driveways and parking areas, sidewalks and pedestrian passages, commercial establishment entryways, recreation areas, and multi-family residential common areas and entryways.
  - b. Outdoor lighting of these areas shall comply with the Town Code requirements for lighting.
  - c. All light fixtures shall be of a pedestrian scale, with a maximum height of eighteen (18) feet and a maximum spacing between fixtures of sixty (60) feet or such other spacing as may be required for identified uses. Design enhanced light sources are encouraged.
  - d. The type and spacing of light fixtures approval shall be based on uniformity of types, location, right-of-way width, and luminosity.
  - e. Weather and vandalism resistant covers shall protect all light fixtures.
  - f. Streetlamps shall be installed on both sides of streets.
  - g. Cobra-head lights shall not be permitted.

Open parking lot, access road, service road and all public access area lighting shall be provided per the Town Code requirements. Lighting fixtures in these areas shall have a maximum height of eighteen (18) feet above grade.

**Walls, fences, and hedges**

The following shall be permitted:

Location	Type and Material	Spacing	Height
Around perimeter of designated open space	Walls: masonry. Fences: wood, electrostatic plated aluminum, or wrought iron.	N/A	Max. 3’-6”
	Hedges and shrubs	Max. 48” O.C.	At time of planting Min. 18” Max. 3’-6”
In front of the build-to-line: Along front, side street, and interior side	Walls: masonry. Fences: wood, electrostatic plated aluminum, or wrought iron.	N/A	Max. 3’-6”
	Hedges and shrubs	Max. 48” O.C.	At time of planting Min. 18” Max. 3’-6”
Behind the build-to-line: Along interior side and rear property lines	Walls: masonry. Fences: wood, electrostatic plated aluminum, or wrought iron	N/A	Max. 72”
	Hedges and Shrubs		At time of planting Min. 18”

		Max. 48" O.C.	Max. 96"
	Chain Link	N/A	Max. 72"
Along the build-to-line	Walls: masonry. Fences: wood, electrostatic plated aluminum, or wrought iron	N/A	Max. 72"
		Max. 48" O.C.	Max. 72"
Parking Areas Along Streets	Walls: masonry. Fences: wood, electrostatic plated aluminum, or wrought iron	N/A	Min. 3'-6"
	Hedges and shrubs	Max. 48" O.C.	
Service Areas	Walls: masonry. Fences: wood, electrostatic plated aluminum, or wrought iron	N/A	Height required to mitigate the visual impact of service area features
Construction Areas	Chain Link	N/A	

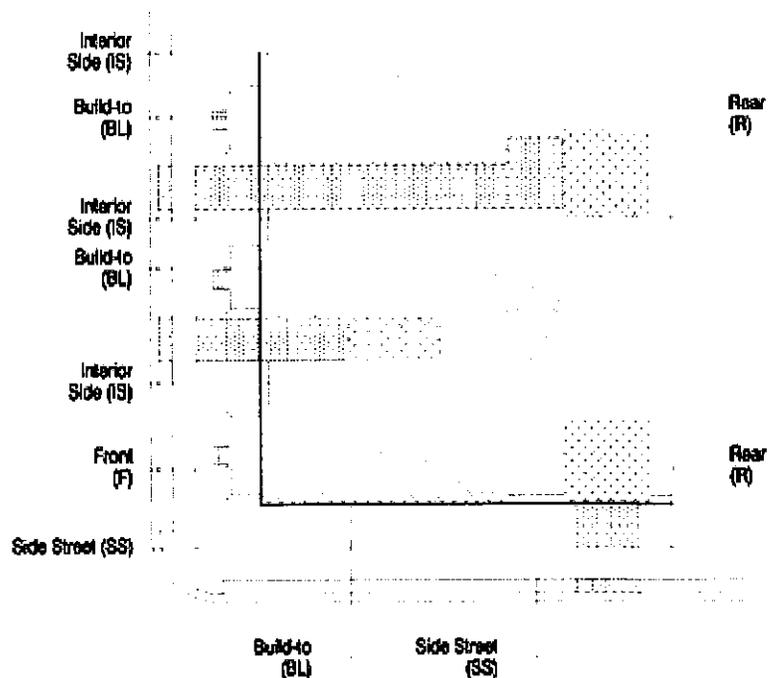
Min.: Minimum

Max.: Maximum

N/A: Not Applicable

O.C.: On Center

NOTE: Additional requirements not specified herein are required per the Town's landscaping code sections.



## **ADDITIONAL Architectural Design Guidelines**

The Town's Architectural Design Guidelines, unless otherwise specified herein, shall apply to the MUMS Overlay Zoning District, including all residential components of a Mixed-Use Development. Additional entry feature, recesses/projection and exterior requirements are defined herein.

Varied architectural styles are possible. Ground floor height shall be minimum of 12 feet to enhance the ground floor architecture and pronounced main entrances are encouraged. Maximum height for all other stories can vary however, the overall height of structures should not exceed 10 times the maximum number of stories permitted, with an additional 10 permitted feet for rooftop architectural elements.

### **Signage**

The Town's general signage code shall apply, except for:

A master signage plan is required for all mixed-use developments. Wall signage is permitted however, freestanding signage is discouraged, but for directional and instructional-related signage. Window signage is also discouraged, but for conspicuous open/close and business hour-related information, all of which needs to be incorporated in the master signage plan.



# Trees



# Preferred Species List

The Palm Beach County Zoning Division has prepared the following list of plants to assist industry and the public with selecting the right plants for the appropriate location. The list contains trees, palms, shrubs and groundcovers.



PZB, ZONING  
DIVISION

Palm Beach County  
Plant List

Date: 2003

## Palm Beach County Trees

Monday, October 18, 2004 11:28:28 A

Common Name	Scientific Name	Salt	Light	Mature Size	Growth	Type	Comments	FL Hardiness Range	Native Species	Recommended Flowering Street Tree
Azadirachta indica	Azadirachta indica	H	Sun	15x20'	M	Evergreen	Small, dense, bushy. Fragrant flowers. Native to India. Occasional in Florida. Growth and leaves damaged at temperatures below 25°F. Recommended small tree.	9b-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>
African Tulip Tree	Spathodea campanulata	M	Sun	50x50'	F	Evergreen	Requires little maintenance but is a heavy tree. Has big orange and yellow flowers during winter and spring.	10b-11	<input type="checkbox"/>	<input type="checkbox"/>
Black Olive	Buddleia buxifolia	H	Sun	30x45'	M	Evergreen	As a street tree, can be safely freeze damage. Large street tree. Moderate value as a street tree.	10b-11	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Key:  
Salt Tolerant L-Low, M-Medium, H-High  
Light P-Partial, L-Low, Sun-Full, Sh-Shade  
Native checked=yes; not checked=no  
FL Hardiness Range - Plant Zone in Palm Beach County  
9b to 10b

"Plant List"

# Table of Contents

- Trees
- Palms
- Shrubs
- Groundcovers

Common Name	Scientific Name	Salt	Light	Mature Size	Growth	Type	Comments	FL Hardiness Range	Native FL Species	Recommended Flowering Street Tree
Cherry Laurel	<i>Laurus nobilis</i>	M	P, Sun	35x35'	M	Evergreen	Will tolerate some dryness, but looks better in moist, well-drained soil. Prune to livestock. Hardy to about 10°F.	8a-9b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Common Persimmon	<i>Diospyros virginiana</i>	L	P, Sun	15x50'	M	Deciduous	Eatly fruit. Grows best in central and No. Florida.	8a-10	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Copperpod	<i>Pithecellobium bicolor</i>	H	Sun	24x50'	F	Deciduous	Shallow rooted, easily blown over in windstorms. Well-drained soils.	10a-11	<input type="checkbox"/>	<input type="checkbox"/>
Crowwood	<i>Gymnanthes lucida</i>	M	Sun	20x20'	S	Evergreen	A small densely branched native tree that is not readily available.	10a+	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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Common Name	Scientific Name	Salt	Light	Mature Size	Growth	Type	Comments	FL Hardiness Range	Native FL Species	Recommended Flowering Street Tree
Crope Myrtle	<i>Lagerflora indica</i>	M	Sun	15x25'	M	Deciduous	Small tree with attractive bark and flowers. Prune to 12" diameter. Don't prune branches larger than 1 1/2" diameter. Small street tree. High value as street tree.	8a-11	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Cuban Tamarind	<i>Lycium sabicu</i>	H	P, Sun	25x50'	M	Deciduous	Will tolerate varying soils.	10b-11	<input type="checkbox"/>	<input type="checkbox"/>
Custard Apple	<i>Annona reticulata</i>	L	Sun	15x40'	M	Deciduous	Selected varieties available.	10a	<input type="checkbox"/>	<input type="checkbox"/>
Cypress, Bald	<i>Taxodium distichum</i>	H	P, Sun	25x80'	F	Conifer	Pyramidal growth habit when young. Recommended large tree.	8a-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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Common Name	Scientific Name	Salt	Light	Mature Size	Growth	Type	Comments	FL Hardiness Range	Native FL Species	Recommended Flowering Street Tree
Baldy	<i>Guapira discolor</i>	H	Sun	30x40'	M	Evergreen	A drought tolerant native tree. Smooth gray bark & attractive leaves. Purple fruit attractive to birds.	9b-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Baldibush, Lemon	<i>Callistemon citrinus</i>	M	Sun	20x20'	M	Evergreen	Small tree. Showy red flowers.	9b-11	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Baldibush, Weeping	<i>Callistemon Viminalis</i>	M	Sun	15x15'	M	Evergreen	Parking lots, buffer strips, highway median, popular tree was dense multi-trunked, low branching. Recommended small tree.	9b-11	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Beaded Beauty Leaf or Santa Maria	<i>Calophyllum brasiliense</i>	H	P-Sun	30-50'	S	Evergreen	Well suited as a street tree, parking lot, patio or small areas. Needs little pruning, white flowers in summer.	10b-11	<input type="checkbox"/>	<input type="checkbox"/>

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Birds Nest Veil	<i>Cratogeomys grandis</i>	L	Sun	30-35'	M	Evergreen	Combined as above ground planer, parking lot, sand buffer strip, great shade tree, high canopy clothed w/ finely textured lobes. Cream showy flowers.	10b-11	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Bulnesia	<i>Bulnesia arborea</i>	H	Sun	20x30'	M	Evergreen	A beautiful flowering tree. Robust plant produces weak scented trees.	10b	<input type="checkbox"/>	<input type="checkbox"/>
Buttonwood	<i>Conocarpus erectus</i>	H	Sun	15-25'	M	Evergreen	Good shade plant. Silver-leaved variety widely grown. A native planted in So. Florida as an ornamental tree. High value as street tree.	10a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Cedar, Southern Red	<i>Juniperus silicola</i>	H	Sun	25x60'	F	Conifer	Adaptable tree lived, but eaten by a variety of song birds. Should not be planted near Hawthorn or other plants because of cedar apple rust disease. Recommended large tree.	8a-9b	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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Cypress, Pond	Taxodium ascendens	H	P, Sun	15x75'	F	Conifer	Found in Cypress Head	8b-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Desert poinciana	Cassipouira guianensis	M	P, Sun	10-12'	M	Deciduous	Brilliant flowers, Attracts butterflies and birds, grows tall and fast. Recommended small tree	9b-11	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Fiddleweed	Chrysanthemum frutescens	M	P, Sun	10x35'	F	Evergreen	Small fragrant flowers, attract butterflies, spring through autumn	10a-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Florida Seagrape	Sapindus marginatus	H	Sun	50x75'	M		Small tree or shrub	8a-9b	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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Common Name	Scientific Name	Salt	Light	Mature Size	Growth	Type	Comments	FL Hardiness Range	Native FL Species	Recommended Flowering Street Tree
Florida Willow	Salix caroliniana	L	Sun	25x25'	F	Deciduous	Grows in wet areas	6-10b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Floss Silk Tree	Chorisia speciosa	H	Sun	45'	F	Deciduous	Spray green trunk - Spectacular flowers	10a	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Frangipani	Plumeria spp	M	P, Sun	15x25'	S	Evergreen	Varieties with white and yellow. Recommended small tree	10b-11	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Geiger Tree	Cordia alliodora	H	P, Sun	15x25'	M	Evergreen	Round crown, showy orange flowers, though not a problem for the tree	10b-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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Geiger Tree, white	Cordia alliodora	H	P, Sun	15x25'	M	Evergreen	Round crown, showy orange blossoms. Attracts caterpillars, though not a problem for the tree. Recommended small tree	10b-11	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Geiger Tree, yellow	Cordia lutea	H	P, Sun	15x25'	M	Evergreen	Round crown, showy orange blossoms. Attracts caterpillars, though not a problem for the tree	10b-11	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Glossy Privet	Ligustrum lucidum	M	Sun/Sha	20x30'	F	Deciduous	Hardy, easy to propagate. Characteristic berries, shrub or tree	8-10	<input type="checkbox"/>	<input type="checkbox"/>
Golden Shower	Cassia fistula	M	Sun	25x50'	F	Deciduous	Showy yellow flowers. Brittle wood	10a-10	<input type="checkbox"/>	<input checked="" type="checkbox"/>

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Gumbo Limbo	Bursera simaruba	H	P, Sun	35x60'	F	Semi-Deciduous	Large branches will not directly in the ground. Attractive copper and red bark. Moderate value as street tree. Moderate value as street tree	10a-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Hercules' Club	Zanthoxylum clavatum	H	P, Sun	15-45'	M	Deciduous	Round crown with interesting compound leaf and tall clusters of green flowers. Thorny	8a-10b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Holly, American	Ilex opaca	M	P, Sun	15x45'	M	Evergreen	Very spiny, stiff leaves with gray to white bark. Used by wildlife. Central and North Florida	8a-9b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Holly, Daron	Ilex cassina	M	P, Sun	10x50'	M	Evergreen	Red-barked native holly. Grows in boggy sites. Medium street tree. Moderate value as street tree	8a-10b	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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Holly, East Palatka	<i>Ilex x attenuata</i> "East Palatka"	M	P, Sun	10x30'	M	Evergreen	Red-berried native holly. Cross between American & Japanese hollies.	8a-9b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Holly, Yaupon	<i>Ilex vomitoria</i>	H	Sh, Sun	15x20'	S	Evergreen	Small bushy tree with many small leaves. Selected varieties available.	8a-9b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Hong Kong Orchid Tree	<i>Bauhinia x blakeana</i>	M	P, Sun	15-40'	F	Evergreen	Can be messy if not maintained	9b-11	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Ironwood, Black	<i>Knappdiendron</i> Ironbark	M	Sun	30x25'	S	Evergreen	Medium robust tree. Moderate value as street tree.	10b-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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"Plant List"

Common Name	Scientific Name	Salt	Light	Mature Size	Growth	Type	Comments	FL Hardiness Range	Native FL Species	Recommended Flowering Street Tree
Jacaranda	<i>Myrcina cauliflora</i>	L	P, Sun	15x25'	S	Evergreen	Large shrub or small tree with attractive bark and delicious fruit buds, but well-drained soils.	10b-11	<input type="checkbox"/>	<input type="checkbox"/>
Jacaranda	<i>Jacaranda mimosoides</i>	L	Sun	40x50'	F	Deciduous	Attractive tree with fragrant lavender flowers in spring & yellow flowers in summer. Tolerant at around 25°F; older ones a few degrees lower. Prefers loose, sandy soil.	9b-11	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Jamaican Dogwood	<i>Piccolia piceola</i>	H	P, Sun	25x45'	F	Deciduous	Bluish purple flowers. Cold hardiness recommended large tree. Bracts.	10b-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Japanese Privet	<i>Ligustrum japonicum</i>	M	P, Sun	10x12'	S	Deciduous	White showy, spring summer, flowers. Excellent street tree. High value as street tree.	7b-10a	<input type="checkbox"/>	<input checked="" type="checkbox"/>

**Key:**  
 Salt Tolerant L-Low, M-Medium, H-High  
 Light P-Partial, L-Low, Sun-Full, Sh-Shade  
 Native checked-yes; not checked-no  
 FL Hardiness Range - Plant Zone in Palm Beach County  
 9b to 10b

"Plant List"

Common Name	Scientific Name	Salt	Light	Mature Size	Growth	Type	Comments	FL Hardiness Range	Native FL Species	Recommended Flowering Street Tree
Jerusalem Thorn	<i>Parsonsia aculeata</i>	H	Sun	15x25'	F	Deciduous	Small, spiny tree with open growth habit. Young trees badly damaged at 18°F. Older trees tolerate slightly lower temperatures if not on wet soils. Accent tree.	8b-11	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Jewweed	<i>Jacquinia keyensis</i>	H	P, Sun	06x15'	S	Evergreen	Rounded, compact shrub or small tree native to coastal south Florida and the Keys. Fragrant flowers and blue-grey bark. Tolerant of dry soils and salt.	10b-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Lancewood	<i>Cordia alliodora</i>	L	P, Sh	85x25'	M	Evergreen	Small shrub or tree native to the Keys.	10b-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Lignum Vitae	<i>Guaiacum sanctum</i>	H	P, Sun	20x30'	S	Evergreen	Small tree. Tolerant for season for months, but respond well to moisture. Blue flowers, attractive foliage and gnarled, white bark. Common in the wild. Very slow growing.	10b-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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 FL Hardiness Range - Plant Zone in Palm Beach County  
 9b to 10b

"Plant List"

Common Name	Scientific Name	Salt	Light	Mature Size	Growth	Type	Comments	FL Hardiness Range	Native FL Species	Recommended Flowering Street Tree
Lobby Bay	<i>Cordia alliodora</i>	L	P, Sun	15x80'	M	Evergreen	A good native for wet areas in central and No. Florida. Central and North Florida needs constant salt moisture.	8a-9b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Loquat	<i>Eriobotrya japonica</i>	M	Sun		M	Evergreen	Eddie fruit. Small flowering tree.	7-11	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Madagascar Olive	<i>Nerophya marginata</i>	H	Sun	15x25'	M	Evergreen	Excellent small tree for coastal areas. Medium street tree. Moderate value as street tree.	10b-11	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Magnolia, Southern	<i>Magnolia grandiflora</i>	M	Sh, Sun	35-80'	M	Evergreen	Hardy tree with large leathery leaves and large showy flowers. Excellent as street tree. Recommended large tree.	8a-10a	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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 FL Hardiness Range - Plant Zone in Palm Beach County  
 9b to 10b

"Plant List"

Common Name	Scientific Name	Salt	Light	Mature Size	Growth	Type	Comments	FL Hardiness Range	Native FL Species	Recommended Flowering Street Tree
Oak, Chapman	Quercus chapmanii	M	Sun	20x20	S	Deciduous	Shrubby tree.	9a-10a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Oak, Laurel	Quercus laurifolia	L	Sun	45x80	F	Evergreen	A fast growing, well-shaped oak tree. Chooses alkaline soils. Large tree tree. High value as street tree.	8a-10b	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Oak, Live	Quercus virginiana	H	Sun	40x60	M	Evergreen	Wind resistant, long-lived oak. With age, wider than tall. Large tree. High value as street tree.	8a-11	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Oak, Sand Live	Quercus geminata	H	P. Sun	20x40	M	Evergreen	A very small version of live oak. Extremely drought tolerant.	8a-10b	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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 9a to 10b

"Plant List"

Common Name	Scientific Name	Salt	Light	Mature Size	Growth	Type	Comments	FL Hardiness Range	Native FL Species	Recommended Flowering Street Tree
Oak, Shumard	Quercus shumardii	L	P. Sun	25x80	M	Deciduous	Very handsome tree. Lobed leaves. Found in fall. Best in Central Florida.	8a-9a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Oak, Turkey	Quercus laevis	M	Sun	20x50	M	Deciduous	Brilliant scarlet leaves in fall. Best in North County if drought tolerant.	8a-9b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Oak, Water	Quercus nigra	L	Sun	50x80	F	Evergreen	Prefers moist sites, but will tolerate slightly furrowed bank.	8a-9a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Paradise Tree	Simarouba glauca	M	P. Sun	35x35	M	Evergreen	Does well in exposed locations. Attractive to wildlife. Compound leaves and spring flowers. Recommended large tree. High open crown.	9b-11	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

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"Plant List"

Common Name	Scientific Name	Salt	Light	Mature Size	Growth	Type	Comments	FL Hardiness Range	Native FL Species	Recommended Flowering Street Tree
Mahogany	Sweetenia mahagoni	M	P. Sun	35x50	F	Evergreen	Mahogany weeborn often defoliate tree briefly. Large street tree. High value as street tree.	10a-11	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Mangrove, Black	Avicennia germinans	H	Sun	25	M	Evergreen	Grows in brackish water sites.	9b-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Mangrove, Red	Rhizophora mangle	H	Sun	15x40	M	Deciduous	A native tree or shrub with stiff robs growing in salt or brackish water.	9b-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Mangrove, White	Laguncularia racemosa	H	Sun	30x30	M	Evergreen	Shrub or small tree. Grows best in warm coastal areas.	9b-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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"Plant List"

Common Name	Scientific Name	Salt	Light	Mature Size	Growth	Type	Comments	FL Hardiness Range	Native FL Species	Recommended Flowering Street Tree
Maple, Red	Acer rubrum	L	P. Sun	30x60	F	Deciduous	Excellent red fall color. In winter, red flowers on male, winged fruit on female.	8a-10a	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Mastic	Masticobalanon foetidissimum	H	Sun	50x50	M	Evergreen	Dark green evergreen tree, attracts wildlife.	10-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Mimusops	Mimusops tobiana	H	Sun	20x30	M	Evergreen	Good for coastal landscapes.	10a	<input type="checkbox"/>	<input type="checkbox"/>
Mulberry, Red	Morus rubra	M	Sun	30x70	F	Deciduous	Important for fruit eating birds. Fruits may stain. Large showy leaves. Fruit edible by humans.	8a-10a	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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"Plant List"

Common Name	Scientific Name	Salt	Light	Mature Size	Growth	Type	Comments	FL Hardiness Range	Native FL Species	Recommended Flowering
Pond Apple	<i>Annona glabra</i>	M	Sun	15x30'	M	Semi-Deciduous	Good for swampy sites. Generally grows south of Lake Okechobee, dense untamed branches, apple-shaped fruits ripen in fall.	10a-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Pongamia	<i>Pongamia pinnata</i>	M	Sun	40x40'	F	Evergreen	Fast growing evergreen tree forming a broad spreading canopy. Full or partial sun. Used as street tree. Flowers in spring.	10b-11	<input type="checkbox"/>	<input type="checkbox"/>
Queen Creeper Myrtle	<i>Lagerstromia speciosa</i>	L	Sun	35x35'	M	Deciduous	A more tropical, larger crepe myrtle. Large street tree. Moderate value as street tree.	10b-11	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Red Bay	<i>Persea borbonia</i>	H	P, Sun	35x50'	M	Evergreen	Wide value. Fragrant leaves. Large street tree. Low value as street tree.	8a-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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"Plant List"

Common Name	Scientific Name	Salt	Light	Mature Size	Growth	Type	Comments	FL Hardiness Range	Native FL Species	Recommended Flowering
Red Stopper	<i>Eugenia rhombos</i>	M	P, Sun	10x20'	M	Evergreen	Endangered in natural Florida habitats. Very ornamental.	9b-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Rubbery Stopper	<i>Eugenia confusa</i>	H	P, Sun	10x30'	M	Evergreen	Eugenia large group plants, including this one, are very similar. May be used for an specimen can be trained as a single or multi-trunk. Often used as street tree.	10a-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Royal Poinciana	<i>Dalmanea regia</i>	M	Sun	50x50'	F	Deciduous	Large spreading tree with brilliant flowers. Messy. Freezes at 30°F.	10a-11	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Sapote Black	<i>Despyros digna</i>	L	Sun	15x40'	F	Evergreen	Messy edible brown fruits. Spreads and the Chocolate Pudding Tree.	10a-11	<input type="checkbox"/>	<input type="checkbox"/>

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"Plant List"

Common Name	Scientific Name	Salt	Light	Mature Size	Growth	Type	Comments	FL Hardiness Range	Native FL Species	Recommended Flowering
Pigeon Plum	<i>Coccoloba diversifolia</i>	H	Sh, Sun	15x30'	F	Evergreen	Attractive bark. Variable leaf shape and size. Edible purple fruit. White flowers in spring. Medium street tree. Moderate value as street tree. Sculptural growth habit.	10a-11	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Pine, Loblooly	<i>Pinus taeda</i>	L	Sun	25x100'	F	Conifer	Used for lumber and pulpwood products. Extremely drought tolerant. Grouped together in landscape.	6a-8b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Pine, Longleaf	<i>Pinus palustris</i>	L	Sun	35x60'	S	Conifer	Dominant species in sandhills and pine flatwoods in south Florida. Slower growing hardwood previously cut for paper. Replanted with faster growing pines.	7a-10a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Pine, Sand	<i>Pinus clausa</i>	H	P, Sun	25x30'	S	Conifer	Short needles. Small, 1 to 3-inch cones. Extremely drought tolerant. Needs steep sandy soils.	8a-10a	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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"Plant List"

Common Name	Scientific Name	Salt	Light	Mature Size	Growth	Type	Comments	FL Hardiness Range	Native FL Species	Recommended Flowering
Pine, Slash	<i>Pinus elliotti</i>	M	Sun	25x120'	F	Conifer	Intolerant of grade changes, irrigation, and traffic above root system. Rapid growing, long-lived. Grow well in acidic soils. Not tolerant of salt. Large tree. Does not tolerate all South Florida soils.	8a-10a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Pine, South Florida Slash	<i>Pinus elliotti</i> var. <i>densa</i>	M	Sun	25x100'	F	Conifer	Lacks most of grade changes, irrigation, and traffic above root system. Rapid growing, long-lived. Grow well in acidic soils. Not tolerant of salt. Better adapted to group plantings better adapted to South Florida soils.	7a-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Pink & White Shower	<i>Cassia javanica</i>	M	Sun	25x40'	F	Deciduous	Very showy when in bloom.	10a	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Pitch Apple	<i>Claudia rosea</i>	H	Sh, Sun	15x25'	S	Evergreen	Leaves soft, leathery and tough in spring. Recommended medium street tree. Use only outside of light shade.	10a-11	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

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"Plant List"

Common Name	Scientific Name	Salt	Light	Mature Size	Growth	Type	Comments	FL Hardiness Range	Native FL Species	Recommended Flowering Street Tree
Sarameaf	<i>Chrysothamnum oliforme</i>	M	Sun	15x40'	S	Evergreen	Showy, leaves glossy on top and brassy satin below. Large street tree. Moderate value as street tree.	10b-11	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Starrape	<i>Coccoloba urelora</i>	H	P, Sun	25x30'	M	Evergreen	Edible fruit used for jelly. Broad, spreading acaesoid plant with large showy leaves. Recommended medium tree.	9b-11	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Simpson's Stopper	<i>Myrcianthes tobagana</i>	S	P, Sun	25x30'	M	Evergreen	Attractive reddish bark, sculptural branching-excellent bird food & nesting source. Aromatic leaves when plumed or crushed.		<input type="checkbox"/>	<input type="checkbox"/>
Sasparilla	<i>Sapindus saponaria</i>	H	Sun	25x50'	M	Evergreen	Fruit contains soap-like material used in some tropical countries. Native to SW Fla. Cold sensitive.	9b-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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 9b to 10b

**"Plant List"**

Common Name	Scientific Name	Salt	Light	Mature Size	Growth	Type	Comments	FL Hardiness Range	Native FL Species	Recommended Flowering Street Tree
Sugarberry	<i>Celtis laevigata</i>	L	P, Sun	35x50'	M	Deciduous	Best for Central and No. Florida in summer. Recommended large tree. Prefers moist soil.	8a-10b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Swamp Bay	<i>Persea palustris</i>	H	P, Sun	35x40'	M	Evergreen	Hairy, brown under leaf.	8a-10b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sweetbay	<i>Magnolia virginiana</i>	L	P, Sun	60x90'	M	Evergreen	Tall cylinder shape. White flowers in summer. Recommended large tree. Prefers moist soil.	8a-9b	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Sweetgum	<i>Liquidambar styraciflua</i>	L	P, Sun	80x80'	F	Deciduous	Pyramidal shaped with attractive copper and spiny brown bark in fall. Star-shaped leaves.	8a-9b	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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Common Name	Scientific Name	Salt	Light	Mature Size	Growth	Type	Comments	FL Hardiness Range	Native FL Species	Recommended Flowering Street Tree
Souropop	<i>Alouina muricata</i>	M	Sun	15-25'	M	Evergreen	Grows only in the warmest parts of	10b-11	<input type="checkbox"/>	<input type="checkbox"/>
Spanish Stopper	<i>Eugenia foetida</i>	H	P, Sun	10x15'	M	Evergreen	Mildly fragrant flowers. Small to medium round-top tree.	9b-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Spry Back Olive	<i>Baccharis spinesca</i>	M	P, Sun	15x25'	S	Evergreen	A small, spiky source of the Back. Attractive silental looking small tree.	10b-11	<input type="checkbox"/>	<input type="checkbox"/>
Strangler Fig	<i>Ficus aurea</i>	M	Sun	50-60'		Evergreen	Round, spreading limbs. Easily grown in sun or partial. Large trees are typically existing and not planted. Fast-growing canopy can shade out other plants. Excellent bird food source.	10b-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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**"Plant List"**

Common Name	Scientific Name	Salt	Light	Mature Size	Growth	Type	Comments	FL Hardiness Range	Native FL Species	Recommended Flowering Street Tree
Sycamore	<i>Platanus occidentalis</i>	M	Sun	70x80'	F	Deciduous	Large leaves and umbrella-like habit. Tolerates wet and dry conditions.	8a-9a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Tamarind	<i>Tamarindus indica</i>	M	Sun	50x65'	M	Evergreen	Extremely wind resistant. Edible fruit pods used in many sauces.	10a	<input type="checkbox"/>	<input type="checkbox"/>
Trumpet Tree	<i>Tournefortia bicolor</i>	M	Sun	10x25'	M	Deciduous	Spectacular spring flowers. Many lower drip.	10a-11	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Weeping Podocarpus	<i>Podocarpus gracilior</i>	L-M	P, Sun	25-35'	S	Evergreen	Tree used in buffer, street sidewalk curbside urban tolerant. No limitations of major concern.		<input type="checkbox"/>	<input type="checkbox"/>

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**"Plant List"**



## Palm Beach County Palm and Palm-Like Plant

Monday, October 18, 2021 11:31:11 A.

Common Name	Scientific Name	Salt	Light	Mature Size	Growth	Florida Hardiness Range	Comments	Native Florida Species	Recommended Street Tree
Alexandria Palm	<i>Acochroperis alexandriana</i>	L	P, Sun	40'	M	10B-11	Also known as fish palm. New leaves may be bronze. Do not transplant west from each nursery. Large street palm. High values as a street palm.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Anaca Palm	<i>Dypsis luteoens</i>	M	P, Sun	20'	M	10b-11	Multi-stem. Good screening palm in professional regularity.	<input type="checkbox"/>	<input type="checkbox"/>
Ankury Palm	<i>Syagrus schizophylla</i>	M	Sun	15'	S	10b-11	Small stature palm.	<input type="checkbox"/>	<input type="checkbox"/>
Bamboo, Golden Hawaiian	<i>Bambusa vulgaris</i>	M	Sun	20'	M	10A-11	Large bamboo with attractive green and yellow stripe. can be aggressive.	<input type="checkbox"/>	<input type="checkbox"/>
Bird-of-Paradise Tree	<i>Strelitzia reginae</i>	L	P, Sun	20'	F	9a-11	Banana like leaves are easily injured by the wind. Flowers are purple and white. Succulent and can be large clump of time.	<input type="checkbox"/>	<input type="checkbox"/>
Bismarck Palm	<i>Bismarckia nobilis</i>	M	P, Sun	60'	S	10b-11	Massive fan palm with large silver blue leaves. Slow to form trunk. Moderate growth. Moderate values as a street palm.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

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"Plant List"

Common Name	Scientific Name	Salt	Light	Mature Size	Growth	Type	Comments	FL Hardiness Range	Native FL Species	Recommended Flowering Street Tree
Weeping Yucca	<i>Yucca vermontiana pendula</i>	H	P, Sun	20-30'	M	Evergreen	Makes a very distinct irregular, weeping form. Parking lot tree, buffer strips, decks or patios, specimen, screening.	7a-9b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Wild Lime	<i>Zanthoxylum tagara</i>	H	P, Sun	15-25'	F	Evergreen	Has received prickles. Foliage has lime aroma when brushed. Larval food plant for giant sweatshop butterfly.	9b-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Wild Tamarind	<i>Lythrum latifolium</i>	H	P, Sun	25-50'	M	Deciduous	Small weeping tree. Recommended large tree Messy. Excellent bird tree.	10b-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Willow Bush	<i>Sarcocolla salicifolia</i>	L	H		M	Evergreen	Typically grows 30-50' tall	9a-10b	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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"Plant List"

Common Name	Scientific Name	Salt	Light	Mature Size	Growth	Type	Comments	FL Hardiness Range	Native FL Species	Recommended Flowering Street Tree
Willow, Weeping	<i>Salix babingtoniana</i>	L	Sun	40-50'	F	Deciduous	Aggressive creeper. Please to avoid sewer and water lines. Lives about 30 years. Best in Central, North Florida.	8a-9b	<input type="checkbox"/>	<input type="checkbox"/>
Yellow Poinciana	<i>Pithecolobium platyrrhizon</i>	H	Sun					10-11	<input type="checkbox"/>	<input type="checkbox"/>
Yang-Yang	<i>Cananga odorata</i>	L	Sun	25-40'	F	Evergreen	Flagrant flowers are used in perfume. Open growth habit.	10a-11	<input type="checkbox"/>	<input checked="" type="checkbox"/>

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"Plant List"

Common Name	Scientific Name	Salt	Light	Mature Size	Growth	Florida Hardiness Range	Comments	Native Florida Species	Recommended Street Tree
Isle Palm	Hopchorbe Lagenicaulis	H	P, Sun	12'	Slow	10B-11	Short, fat trunk. Recommended small palms.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Bucanener Palm	Pseudophoenix sargentii	H	P, Sun	10'	S	10B-11	Also known as Cherry Palm for its bright red fruit. Very slow growing, semi endangered palm.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Cabbage Palm	Dypsis cabadae	M	P, Sun	30'	M	10B-11	Large multi-stem with stems.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Cabbage Palm	Sabal palmetto	H	P, Sun	40'	S	8a-11	Florida state tree. Also known as Sabal palm. Wind with all kinds, enhanced to increase. Recommended large street palms. Moderate to high salt tolerance.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Caray Island Date Palm	Phoenix carolinensis	M	P, Sun	40'	S	9a-11	Light palm with thin stems. Other palmation increases susceptibility to fungal disease. Stems are covered by perianth wool. Moderate to high salt tolerance. Fructification damaged at 20'.	<input type="checkbox"/>	<input type="checkbox"/>
Carpentaria Palm	Carpentaria acuminata	L	Sun	40'	F	10b-11	Specimen tree. Fast growing palm. Requires unconfined water. Palm is occasionally under.	<input type="checkbox"/>	<input type="checkbox"/>
Chinese Fan Palm	Livistona chinensis	M	P, Sun	25'	S	8a-11	Long and to segments, broad gracefully. Slow. Slightly susceptible to leaf webbing. Moderate to high salt tolerance. Fructification leaves. Other Livistona species are available. Large street palm. Low value as a street tree.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

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 Light P-Partial, L-Low, Sun-Full, Sh-Shadow  
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 Fla Hardiness Range - Plant Zone in Palm Beach County 9b to 10b

"Plant List"

Common Name	Scientific Name	Salt	Light	Mature Size	Growth	Florida Hardiness Range	Comments	Native Florida Species	Recommended Street Tree
Cliff Date Palm	Phoenix rostrata	M	Sun	25'	S	10a-11	A upright, moderately sized date palm. Bright green arching juvenile leaves. Slow.	<input type="checkbox"/>	<input type="checkbox"/>
Clustering Fan Palm	Caryota mitis	L	P, Sun	18'	M	10a-11	Stems die after fruiting but are replaced by suckers. Fruit contains irritating crystals.	<input type="checkbox"/>	<input type="checkbox"/>
Coconut Palm	Cocos nucifera	H	Sun	80'	M	10b-11	Palm only useful yellowish resistant 'Majani' and 'Mayport' varieties.	<input type="checkbox"/>	<input type="checkbox"/>
Date Palm, Medjool	Phoenix Phactylifera "Medjool"	H	L	70'	S	9-11	Attract palms, similar to Canary Island silver palm. High values as a street palm.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Dwarf Sugar Palm	Arenga tremula	M	H	45'	M	10a-11	Specimen tree.	<input type="checkbox"/>	<input type="checkbox"/>
Eddle Date Palm	Phoenix dactylifera	H	H	70'	S	9-11	Large specimen palm.	<input type="checkbox"/>	<input type="checkbox"/>
Fox tail Palm	Wodyetia bifurcata	H	M-H	30'	F	10a-11	Very popular landscape palms. Very fast growing. Adapts to hot dry spots.	<input type="checkbox"/>	<input type="checkbox"/>

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"Plant List"

Common Name	Scientific Name	Salt	Light	Mature Size	Growth	Florida Hardiness Range	Comments	Native Florida Species	Recommended Street Tree
Hurricane Palm	Dactyloctenium aegyptium	M	Sun	30'	S	10b-11	Also known as prince palm. Moderately susceptible to severe yellowing. Dying leaves fall from fronds. Recommended large palms.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Lady Palm	Rhapis excelsa	M	P, Sh	7'	S	10a-11	Palmate stems tend to yellow in sun. Fronds become chlorotic.	<input type="checkbox"/>	<input type="checkbox"/>
Lucala Palm	Lucala grandis	L	P	8'	S	10b-11	Small Palm from wet sandhills under story from dying woods.	<input type="checkbox"/>	<input type="checkbox"/>
MacArthur Palm	Psychoporia macarthurii	M	P, Sun	25'	M	10b-11	A slender multiple trunked palm. Lethal to trunk from herbivory. Fronds are hard. Thinner trunk than Sottaine Palm.	<input type="checkbox"/>	<input type="checkbox"/>
Majesty Palm	Ravennia neulans	M	M-H	60-80'	F	10a-11	Slender trunk, thick palmately 13-15 serrated, waxy, adaptable to very hot, increasing trunk. Large street palm. Moderate values as a street palm.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Montgomery's Palm	Veitchia montgomeryana	M	P, Sun	35'	F	10b-11	Slightly susceptible to vertex yellowing.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Needle Palm	Rhapidophyllum hystrix	M	P, Sh	5'	S	8a-10b		<input checked="" type="checkbox"/>	<input type="checkbox"/>

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Common Name	Scientific Name	Salt	Light	Mature Size	Growth	Florida Hardiness Range	Comments	Native Florida Species	Recommended Street Tree
Palmetto Palm	Chamaedorea elegans	L	Sh	6'	S	10b-11	Common clustering trunked palm.	<input type="checkbox"/>	<input type="checkbox"/>
Parrot Palm	Azoreopanax argenteum	M	P, Sun	20'	S	9a-11	Slender, multi-trunked palm which forms a large cluster in time. Mangrove deficiency in alkaline soil. Large street palm.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Pindo Palm	Butea capitata	M	P, Sun	15'	S	8a-10b	Also called party palm for its edible buds. Does best in Central & No. Florida. Still blue-green palm. Common variety as a street palm. Moderate values as a street palm.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Pigmy Date Palm	Phoenix robbelenii	L	Sun	10'	S	10a-11	Recommended small palm. Use only outside of light change.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Queen Palm	Synedrella nodiflora	L	P, Sun	40'	F	10a-11	Plant in acid soil or manganese deficiency will develop. Cold sensitive. Large, messy fruits. Moderate to high salt tolerance. Large street palm.	<input type="checkbox"/>	<input type="checkbox"/>
Queen Sage	Cycas circinalis	M	P, Sun	15'	M	9a-11	Upright cycad with soft fern like leaves. Forms wide trunk. Tolerant to 20'.	<input type="checkbox"/>	<input type="checkbox"/>
Royal Palm	Roystonia elata	M	Sun	80'	M	10a-11	Grows taller than most uniform trunks. Fronds are more numerous than the commonly cultivated Cuban Royal Palm. Recommended large palms. High value as street palm.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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"Plant List"



Common Name	Scientific Name	Salt Tolerance	Light	Mature Size	Growth	Florida Hardiness Range	Comments	Native Florida Species	Recommended Street Tree
Screw Pine	<input type="text"/>								
	<i>Pandanus utilis</i>	H	H	25'	M	10b-11	Pyramidal, obov. symmetrical leaf to create strong landscape effect. Can become weedy.	<input type="checkbox"/>	<input type="checkbox"/>
	<input type="text"/>								
	<i>Phoenix reclinata</i>	M	H	25'	M	10b-11	Charming, some smaller, some toward 25-50' leaves, sockets vigorously specimen large street palm. Low values as a street palm.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<input type="text"/>								
	<i>Coccothrinax argentea</i>	H	P, Sun	10'	S	10b-11	Pinnate leaves have striking silver undersides. Endangered palm native to Florida Keys. Dark fronds attractive to wildlife. Small street palm. Moderate values as a street palm.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
	<input type="text"/>								
	<i>Phycosperma elegans</i>	L	P, Sun	20'	S	10b-11	Also known as Alexander palm. Solitary, small, slender and leafy, featuring resistant to salt. Moderate values as a street palm.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
	<input type="text"/>								
	<i>Thriax palm, Florida</i>	H	P, Sun	20'	S	10b-11	Tolerant of high salinity. Does well in full sun. Moderate values as a street palm. Very drought tolerant.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
	<input type="text"/>								
	<i>Thriax monnini</i>	H	P, Sun	20'	S	10b-11	Tolerant of high salinity as coastal dune planting. Other factors of Thriax are cultivated.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	<input type="text"/>								
	<i>Ravennia neapoleonensis</i>	L	P, Sun	25-30'	M	10a-11	AKA, Florida Palm-leaf tree. Used for windbreaks. Tropical effect, very large banana like leaves.	<input type="checkbox"/>	<input type="checkbox"/>

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"Plant List"

### Munday, October 18, 2004 11:30:31 A

## Palm Beach County Shrubs

Common Name	Scientific Name	Salt Tolerance	Sun/Shade	Flowers	Size	Growth	Type	Comments	Plant Zone	Native Fl. Species	Flowering
<i>Aster, Yellow</i>	<i>Turnera ulmifolia</i>	H	P, Sun	Y/Yr	3'	F	Evergreen shrub	Shrub or groundcover with showy flowers.	10b-11	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<i>Angel's Trumpet</i>	<i>Brugmansia x candida</i>	L	P, Sun	Wh, Pk, Yr	14'	F	Evergreen shrub	Showy fragrant flowers.	Poisonous	10b-11	<input type="checkbox"/>
<i>Anise Tree</i>	<i>Illicium anisatum</i>	L	P, Sun	GS/Sp	20'	M	Evergreen shrubtree	Rich soil, moisture, and much.	8a-10b	<input type="checkbox"/>	<input type="checkbox"/>

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"Plant List"

Common Name	Scientific Name	Salt Tolerance	Light	Mature Size	Growth	Florida Hardiness Range	Comments	Native Florida Species	Recommended Street Tree
<i>Triangle Palm</i>	<i>Neeleya decayi</i>	L	P, Sun	25'	M	10b-11	Blue-green leaves, especially highlighted in the sun, are damaged by freezing temperatures. Recommended large palms.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<i>Washingtonia Palm</i>	<i>Washingtonia robusta</i>	M	Sun	80'	F	8a-11	Very tall, slender and fan-like. Often returns old leaves in a particular. Leaves are damaged in the low 20's F. Over-watering can cause root rot. Large street palm. High drought as a street palm.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<i>Wild Date Palm</i>	<i>Phoenix sylvatica</i>	M	Sun	40'	S	8a-11	Also known as Tolly Palm or Indio Date Palm. Blue-green cast of the leaves is variable.	<input type="checkbox"/>	<input type="checkbox"/>
<i>Windmill Palm</i>	<i>Trachycarpus fortunei</i>	M	P, Sun	25'	S	8a-10b	One of the most cold hardy in cultivation. Does not thrive in hot, tropical conditions. Large street palm. Moderate values as a street palm.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<i>Yucca, Spineless</i>	<i>Yucca elaeagnifolia</i>	M	P, Sun	20'	M	9b-11	Harmless soft leaf tips, unlike Spanish Bayonet which has very sharp leaf tips. Variegated forms are available.	<input type="checkbox"/>	<input type="checkbox"/>

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"Plant List"

Common Name	Scientific Name	Salt Tolerance	Sun/Shade	Flowers	Size	Growth	Type	Comments	Plant Zone	Native FL Species	Flowering
Apple Saver/year	<i>Cereus cholla</i> (= <i>Cassia cholla</i> )	H	P, Sun	Wh/Yr	10'	S	Evergreen shrub	Fragrant flowers. Frit eaten by birds and mammals. Large glossy leaves. Good seaside plant.	10a-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Azore-viçaz, Oriental	<i>Psychotria orientalis</i>	L	P, Sun	natS	20'	M	Evergreen shrub	The coffee can grow into a tree.	8a-10b	<input type="checkbox"/>	<input type="checkbox"/>
Bahama Coffee	<i>Psychotria ligularis</i>	M	P, Sh, Sun	Wh/Sp-S	4'	F	Evergreen shrub	Bark. Flowers attractive to butterflies. Fruits attractive to wildlife.	10b-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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"Plant List"

Common Name	Scientific Name	Salt Tolerance	Sun/Shade	Flowers	Size	Growth	Type	Comments	Plant Zone	Native FL Species	Flowering
Bamboo Palm	<i>Chrysalidocarpus Lutescens</i>	L	Sh	Wh	20-25'	M	Palm	Sleender, solitary bamboo-like palm. Popular in tropical world's most popular indoor plants.	10a-11	<input type="checkbox"/>	<input type="checkbox"/>
Bay Cedar	<i>Suriana maritima</i>	H	Sun	Y/Yr	10'	S	Evergreen shrub	Coastal. Endangered drought tolerant.	10b-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Beach elder	<i>Iva imbricata</i>	H	Sun	Gr/Sp	3'	F	Herbaceous/perennial	Flowsy leaves. Male and female flowers on same plant.	9f-10b	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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Common Name	Scientific Name	Salt Tolerance	Sun/Shade	Flowers	Size	Growth	Type	Comments	Plant Zone	Native FL Species	Flowering
Beautyberry	<i>Callicarpa americana</i>	L	P, Sun	Pk/Sp	6-9'	F	Deciduous shrub	Stunning display of purple berries. Spikes attractive to birds. One variety has white berries.	3f, 7f	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Black Torch	<i>Eriolaia frutescens</i>	H	P, Sun	Wh/Yr	6'	M	Evergreen shrub	Black fruit. Dense, rounded shrub in sun.	10a-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Blue Porterweed	<i>Stachytarpheta jamaicensis</i>	H	Sun	Blue	1.5'	M	Herbaceous	Bushy low shrub, needs maintenance to keep slope blue. Attracts butterflies.	10-11	<input type="checkbox"/>	<input checked="" type="checkbox"/>

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Common Name	Scientific Name	Salt Tolerance	Sun/Shade	Flowers	Size	Growth	Type	Comments	Plant Zone	Native FL Species	Flowering
Blueberry, Shiny	<i>Vaccinium myrsinites</i>	L	P, Sun	Wh/Pk/Sp	2'	S	Evergreen shrub	Edible fruit, attractive to wildlife. Spreads by runners. Flowers attract spring butterflies. Drought tolerant.	8a-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Bougainvillea, Paper Flower	<i>Bougainvillea glabra</i>	H	Sun	Pk, Red	8'	F	Evergreen vining shrub	Thorny	10b-11	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Buckhorn, Tough	<i>Scaevola taccada</i> (= <i>Bumelia taccada</i> )	H	Sun	Wh/Sp	20'	S	Evergreen shrub/tree	Thorny. Very drought tolerant. Bronze underside of leaves.	8b-9b	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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Common Name	Scientific Name	Salt Tolerance	Sun/Shade	Flowers	Size	Growth	Type	Comments	Plant Zone	Native FL Species	Flowering
Both Cocks Vine	Thunbergia erecta	M	P, Sun	Pu, Wh/Yr	5'	M	Evergreen shrub	Can be a hedge, but needs pruning.	10b-11	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Blatibush	Cephaelis occidentalis	L	P, Sun	Wh/S	15'	M	Deciduous shrub	Showy globe-shaped inflorescences. Survives in standing water. Needs wet soils.	8a-10a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Caper, Jamaican	Capparis cynophallophora	H	Sun	Pk, Wh/Sp	9'	S	Evergreen shrub	Rusty leaf undersides and showy flowers. Grows on small mounds, sandy soil types. Drought tolerant.	10b-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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Common Name	Scientific Name	Salt Tolerance	Sun/Shade	Flowers	Size	Growth	Type	Comments	Plant Zone	Native FL Species	Flowering
Cat Palm	Chamaedorea cataractarum	L	P, Sun		5'	M		Moderate drought tolerance in shade. Virtually trunkless, compact palm.	10b-11	<input type="checkbox"/>	<input type="checkbox"/>
Century Plant, Maguey	Agave americana	H	Sun	Y/S-F	8'+	F	Evergreen shrub	Sprey succulent. Takes many years to mature, then spectacularly and fast. Several foliage varieties.	9a-11	<input type="checkbox"/>	<input type="checkbox"/>
Chenille Plant, Red Hot Cattail	Acalypha hispida	L	Sun	Wh, Red	5'	F	Evergreen shrub	Long pendulous spikes	10b-11	<input type="checkbox"/>	<input checked="" type="checkbox"/>

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Common Name	Scientific Name	Salt Tolerance	Sun/Shade	Flowers	Size	Growth	Type	Comments	Plant Zone	Native FL Species	Flowering
Cardboard Palm	Zamia furcata	M	P, Sun		4'	M		Sturdy cycad with slightly fuzzy stiff leaves which feel like cardboard. Red seeds held in cones by female plants are poisonous.	10b-11	<input type="checkbox"/>	<input type="checkbox"/>
Caricature Plant	Graptophyllum pictum	L	P, Sun	Red/S	5'	F	Evergreen shrub	Showy flowers. Many leaf colors and shapes. Vulnerable to nematodes.	10b-11	<input type="checkbox"/>	<input type="checkbox"/>

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Common Name	Scientific Name	Salt Tolerance	Sun/Shade	Flowers	Size	Growth	Type	Comments	Plant Zone	Native FL Species	Flowering
Chinese Privet	Ligustrum sinense	L	P, Sun	White	5'	M	Deciduous	Fine texture	7-10B	<input type="checkbox"/>	<input type="checkbox"/>
Christmas Berry	Lycium californicum	H	P, Sun	L, Wh/S-F	7'	M	Evergreen shrub	Grows in salt marshes and salt flats. Bright red berries, unusual foliage	8a-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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Common Name	Scientific Name	Salt Tolerance	Sun/Shade	Flowers	Size	Growth	Type	Comments	Plant Zone	Native FL Species	Flowering
Cassia, Bahama	Senna mexicana var. chapmani	L	Sun	Y/P-W	8'	F	Evergreen shrub	Host plant of Sulfur Butterflies. Showy flowers.	10a	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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Common Name	Scientific Name	Salt Tolerance	Sun/Shade	Flowers	Size	Growth	Type	Comments	Plant Zone	Native FL Species	Flowering
Coccoloba	Chrysobalanus icaco	L-M	Sun	Wh/Yr	20'	M	Evergreen shrub	Fruit edible and attractive to wildlife. Dense enough for hedges and screening if planted in sun. Drought tolerant. Salt tolerant like coastal form. Recommended shrub. Use only outside of sight triangles.	10b-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Chrysobalanus icaco horizontal	L-M	Sun	Wh/Yr	6'	M	Evergreen shrub	Green tip. Has spreading habit that may be useful for large white fruit. Highly salt tolerant.		<input type="checkbox"/>	<input type="checkbox"/>

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Common Name	Scientific Name	Salt Tolerance	Sun/Shade	Flowers	Size	Growth	Type	Comments	Plant Zone	Native Species	Flowering
Copperleaf	<i>Acalypha wilkesiana</i>	M	Sun	Wh/Sp-F	8'	F	Evergreen shrub	Edible purple fruit. Good seaside plant	10b-11	<input type="checkbox"/>	<input type="checkbox"/>
Coral Bean	<i>Erythrina herbacea</i>	H	P, Sun	Red/Sp	15'	M	Deciduous shrub	Bright red flowers attractive to hummingbirds. Colorful fruit. Used as accent plant among other shrubs & trees.	8a-11	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Grape Jasmine	<i>Taeniococcus diervilliana</i>	M	P, Sun	Wh/Sp-F	7'	M	Evergreen shrub	Showy, fragrant flowers	10b-11	<input type="checkbox"/>	<input checked="" type="checkbox"/>

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Olney African Bush	<i>Gambusia clypeata</i>	L	Sun	Y/Yr	3'	M	Evergreen shrub	Showy flowers. Recommended shrub. Moderate value as a shrub	10b-11	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Dacrydium	<i>Dacrydium spp.</i>	L	P	Wh, Y/G/S	2-15'	M-S	Evergreen	Can be a tree, shrub or herbaceous perennial	9a-11	<input type="checkbox"/>	<input type="checkbox"/>
Dwarf Palmetto	<i>Sabal minor</i>	M	P, Sun		6'	S		More shade tolerant than most palms. Only suitable to most of southeastern U.S. Recommended small palm. Use only outside of sight triangle	8a-10b	<input type="checkbox"/>	<input type="checkbox"/>

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Common Name	Scientific Name	Salt Tolerance	Sun/Shade	Flowers	Size	Growth	Type	Comments	Plant Zone	Native Species	Flowering
Crumm Lily	<i>Croton alatum</i>	M	P	White, Pink	3'	M	Evergreen shrub	Recommended shrub. Use only outside of sight triangle.		<input type="checkbox"/>	<input checked="" type="checkbox"/>

Common Name	Scientific Name	Salt Tolerance	Sun/Shade	Flowers	Size	Growth	Type	Comments	Plant Zone	Native Species	Flowering
Croton	<i>Croton variegatum</i>	M	P, Sun	Wh/S	8'	S	Evergreen shrub	Showy multicolored leaves. Irritant and sap stains clothes	10b-11	<input type="checkbox"/>	<input type="checkbox"/>
Cycad, Queen	<i>Deodar edule</i>	M	P, Sun		6'	S		Stiff, shiny, dark green scales are sharp. Very slow-growing, long-lived. Rank forms only after many years.	8b-11	<input type="checkbox"/>	<input type="checkbox"/>

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Common Name	Scientific Name	Salt Tolerance	Sun/Shade	Flowers	Size	Growth	Type	Comments	Plant Zone	Native Species	Flowering
European Fan Palm	<i>Chamaecyparis thurifera</i>	M	P, sun		10'	S		Tolerant to 12' F has survived 6' F. Europe's only native palm. Spiky. Much variation in leaf color. Recommended small palm. Moderate value as palm.	8a-11	<input type="checkbox"/>	<input type="checkbox"/>

Common Name	Scientific Name	Salt Tolerance	Sun/Shade	Flowers	Size	Growth	Type	Comments	Plant Zone	Native Species	Flowering
European Fan Palm	<i>Chamaecyparis thurifera</i>	M	P, sun		10'	S		Tolerant to 12' F has survived 6' F. Europe's only native palm. Spiky. Much variation in leaf color. Recommended small palm. Moderate value as palm.	8a-11	<input type="checkbox"/>	<input type="checkbox"/>
Flaxbush	<i>Triplicarpus dactyloides</i>	M	Sun	Cr/Sp-F	8'	M	Herbaceous	Large bunchgrass with interesting flowers and fruit. Host for skipper butterflies	8a-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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 Salt Tolerant L-Low, M-Medium, H-High  
 Light P-Partial, L-Low, Sun-Full, Sh-Shade  
 Native checked=yes; not checked=no  
 Fla Hardiness Range - Plant Zone in Palm Beach County 9b to 10b

"Plant List"

Common Name	Scientific Name	Salt Tolerance	Sun/Shade	Flowers	Size	Growth	Type	Comments	Plant Zone	Native FL Species	Flowering
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Fieldwood	<i>Chorizanthe</i> <i>(=C. frutescens)</i>	M	P-Sun	Wh/Yr	25'	S	Evergreen shrubby tree	Small fragrant flowers, orange fruit, and glossy leaves.	10a-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Firebush	<i>Hamelia patens</i>	M	P-Sun	Red/Yr	3-10'	F	Perennial evergreen shrub	Red tint with reddish tubular flowers. Grows on hillside in hammock. Attracts zebra longwing butterflies & humming birds.	10a-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Firecracker Plant	<i>Ruellia</i> <i>equisetiformis</i>	H	Sun	Red/Yr	4'	M	Evergreen shrub	Showy flowers	10b-11	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Key:  
Salt Tolerant L-Low, M-Medium, H-High  
Light P-Partial, L-Low, Sun-Full, Sh-Shade  
Native checked=yes; not checked=no  
Fla Hardiness Range - Plant Zone in Palm Beach County 9b to 10b

"Plant List"

Common Name	Scientific Name	Salt Tolerance	Sun/Shade	Flowers	Size	Growth	Type	Comments	Plant Zone	Native FL Species	Flowering
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Firespike	<i>Odonisma</i> <i>strictum</i>	L	Sun	Red/F	6'	F	Perennial	Large red flower spikes. Needs fertile soil.	9a-9b	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Florida Camagress	<i>Tripsacum</i> <i>floridanum</i>	M	Sun	Gr/Yr	6'	M	Herbaceous perennial	Rare	10a-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Florida Pinet	<i>Forsydia</i> <i>segregata</i>	H	Sun	Gr/Sp	10'	M	Evergreen shrub	Adapts to variety of soils, grows on hillside in hammock. Grows briefly deciduous with Cedar waxwing favored food. Adapts very well to pruning. Can be used as formal hedge.	9a-10b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Key:  
Salt Tolerant L-Low, M-Medium, H-High  
Light P-Partial, L-Low, Sun-Full, Sh-Shade  
Native checked=yes; not checked=no  
Fla Hardiness Range - Plant Zone in Palm Beach County 9b to 10b

"Plant List"

Common Name	Scientific Name	Salt Tolerance	Sun/Shade	Flowers	Size	Growth	Type	Comments	Plant Zone	Native FL Species	Flowering
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Florida-Azale	<i>Illicium floridanum</i>	L	P-Sun	Red/Pu/Sp	15'	M	Evergreen shrub	Dark blue flowers and fragrant foliage. Grows on swampy bays. Threatened.	9a-10a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Galberry	<i>Ilex glabra</i>	M	P-Sun	Wh/Sp	6'	S	Evergreen shrub	Grows in acid/flatwoods soils. Black berries. Informal landscape, restoration.	9a-10a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Gardenia	<i>Gardenia augusta</i>	L	Sun	Sh/Sp	6'	S	Evergreen shrub	Needs rich acid soil with much and shade. Fragrant, showy flowers.	9a-10a	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Key:  
Salt Tolerant L-Low, M-Medium, H-High  
Light P-Partial, L-Low, Sun-Full, Sh-Shade  
Native checked=yes; not checked=no  
Fla Hardiness Range - Plant Zone in Palm Beach County 9b to 10b

"Plant List"

Common Name	Scientific Name	Salt Tolerance	Sun/Shade	Flowers	Size	Growth	Type	Comments	Plant Zone	Native FL Species	Flowering
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Ginger Shell	<i>Alpinia zerumbet</i>	M	P	Wh/Yr	8'	F	Herbaceous	Dark green foliage. Fragrant flowers on canes.	10a-11	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Gonybush	<i>Thoucaena</i> <i>urubetana</i>	L	P-Sun	Pu/Sp-F	10'	M	Evergreen shrub	Prefers well drained acid soils of central Florida.	9b-10b	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Glossy Pinet	<i>Liquidum</i> <i>lucidum</i>	M	P-Sun	White	30'	M	Evergreen	Sooty mold	7-10B	<input type="checkbox"/>	<input type="checkbox"/>
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Salt Tolerant L-Low, M-Medium, H-High  
Light P-Partial, L-Low, Sun-Full, Sh-Shade  
Native checked=yes; not checked=no  
Fla Hardiness Range - Plant Zone in Palm Beach County 9b to 10b

"Plant List"

Common Name	Scientific Name	Salt Tolerance	Sun/Shade	Flowers	Size	Growth	Type	Comments	Plant Zone	Native FL Species	Flowering
Golden Dewdrop	<i>Duranta repens</i>	M	P, Sun	B/W	15'	M	Evergreen shrub/tree	Butterflies drawn to small flowers. Birds like fruit and spread the seeds. Poisonous.	9b-11	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Green Pigeonspur	<i>Pteroporus tabraea</i>	M	P, Sun	Wh	4'	M	Evergreen shrub	Hedge plants	9-11	<input type="checkbox"/>	<input type="checkbox"/>
Hawthorn, Indian	<i>Rhaphiolepis indica</i>	q	P	Wh/Sp-W	5'	S	Evergreen shrub	Showy pinkish white flowers. Recommended shrub. High value as a shrub.	8a-11	<input type="checkbox"/>	<input type="checkbox"/>

"Plant List"

Key:  
 Salt Tolerant L-Low, M-Medium, H-High  
 Light P-Partial, L-Low, Sun-Full, Sh-Shade  
 Native checked=yes; not checked=no  
 Fla Hardiness Range - Plant Zone in Palm Beach County 9b to 10b

Common Name	Scientific Name	Salt Tolerance	Sun/Shade	Flowers	Size	Growth	Type	Comments	Plant Zone	Native FL Species	Flowering
Holly, Japanese	<i>Ilex crenata</i>	L	P, Sun	Wh/S	6'	S	Evergreen shrub	Can be used as a hedge	8a-9b	<input type="checkbox"/>	<input type="checkbox"/>
Honeyucklo, Cape	<i>Tecomaria capensis</i>	M	Sun	Y/O Red	6'	F	Evergreen shrub/vine	Good drainage required. Needs frequent pruning to look like a shrub.	10b-11	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Inkberry	<i>Scavola pauciflora</i>	H	Sun	Wh/S	4'	S	Evergreen shrub	Groundcover for beach dunes.	10a-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>

"Plant List"

Key:  
 Salt Tolerant L-Low, M-Medium, H-High  
 Light P-Partial, L-Low, Sun-Full, Sh-Shade  
 Native checked=yes; not checked=no  
 Fla Hardiness Range - Plant Zone in Palm Beach County 9b to 10b

Common Name	Scientific Name	Salt Tolerance	Sun/Shade	Flowers	Size	Growth	Type	Comments	Plant Zone	Native FL Species	Flowering
Heracles' Club	<i>Zanthoxylum claviflorum</i>	M	P, Sun	Wh/Sp	30'	M	Deciduous shrub/small tree	Thorns grow right out of the tree trunk. Host plant of giant swallowtail	8a-10b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Hibiscus	<i>Hibiscus rosa-sinensis</i>	M	Sun	Many/Yr	7'	F	Evergreen shrub	Showy flowers. Many varieties exist, but they need very fertile soil. Recommended shrub. Use only outside of sign language.	10a-11	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Holly, Dwarf Yaupon	<i>Ilex vomitoria 'nana'</i>	H	P, Sun	Wh/Sp-S	5'	M	Evergreen shrub	Many varieties of varying sizes and structures. Female plants provide caffeine. Some contain caffeine chemicals that act as stimulants like caffeine.	8a-10a	<input checked="" type="checkbox"/>	<input type="checkbox"/>

"Plant List"

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 Salt Tolerant L-Low, M-Medium, H-High  
 Light P-Partial, L-Low, Sun-Full, Sh-Shade  
 Native checked=yes; not checked=no  
 Fla Hardiness Range - Plant Zone in Palm Beach County 9b to 10b

Common Name	Scientific Name	Salt Tolerance	Sun/Shade	Flowers	Size	Growth	Type	Comments	Plant Zone	Native FL Species	Flowering
Jasmine, Downy	<i>Jasminum multiflorum</i>	L	P, Sun	Wh/Sp-F	5'	M	Evergreen shrub/vine	Flowering shrub or vine	10b-11	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Juniper, Chinese	<i>Juniperus chinensis</i>	M	Sun	nia	6'	M	Evergreen shrub	Looks best on fertile soils	8a-10b	<input type="checkbox"/>	<input type="checkbox"/>
King Sago	<i>Cycas revoluta</i>	L	S		6'	S		Cycad with stiff, dark green foliage. Prone to magnesium deficiency. Tolerant to 10 F. Small, confined root system. Prone to scale infestation.	8b-11	<input type="checkbox"/>	<input type="checkbox"/>

"Plant List"

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 Salt Tolerant L-Low, M-Medium, H-High  
 Light P-Partial, L-Low, Sun-Full, Sh-Shade  
 Native checked=yes; not checked=no  
 Fla Hardiness Range - Plant Zone in Palm Beach County 9b to 10b

Common Name	Scientific Name	Salt Tolerance	Sun/Shade	Flowers	Size	Growth	Type	Comments	Plant Zone	Native FL Species	Flowering
Lady-of-the-Night	Burdeusa americana	M	Sun	WhSp-F	10'	M	Evergreen shrub	Shows white flowers age to yellow	10b-11	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Lyonia Rusty	Lyonia ferruginea	L	Sun	WhSp	15'	S	Evergreen shrubtree	Bushy pubescent on leaves. Clusters of small fragrant sun-shaped flowers are attractive to insects.	8a-10b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Maldenbush	Sava bahamensis	H	Sun	CSp	8'	S	Evergreen shrub	Can be used in hedge	10b-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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 Salt Tolerant L-Low, M-Medium, H-High  
 Light P-Partial, L-Low, Sun-Full, Sh-Shade  
 Native checked=yes; not checked=no  
 Fla Hardiness Range - Plant Zone in Palm Beach County 9b to 10b

"Plant List"

Common Name	Scientific Name	Salt Tolerance	Sun/Shade	Flowers	Size	Growth	Type	Comments	Plant Zone	Native FL Species	Flowering
Malberry	Ardisia escallonioides	H	Sh, Sun	WhSp-F	10-20'	M	Evergreen shrubtree	Fragrant flowers. Grows on moist, shaded areas. Black berries and shrub to wildlife. Disturb	10b-11	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Myrtle	Rapanea punctata	H	P, Sh	WhS	15'	M	Evergreen shrubtree	Shrubby tree of coastal areas. Adapted to windy. Adapts well to pruning	8b-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Natal Plum	Cassia macrocarpa	H	P, Sun	WhSp-F	10'	M	Evergreen shrub	Spry hedge plant tolerates salt. Fragrant flowers. Large semi-edible fruit	10b-11	<input type="checkbox"/>	<input type="checkbox"/>

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 Light P-Partial, L-Low, Sun-Full, Sh-Shade  
 Native checked=yes; not checked=no  
 Fla Hardiness Range - Plant Zone in Palm Beach County 9b to 10b

"Plant List"

Common Name	Scientific Name	Salt Tolerance	Sun/Shade	Flowers	Size	Growth	Type	Comments	Plant Zone	Native FL Species	Flowering
Night-Blooming Jessamine	Cyclopogon octandrum	M	Sun	YSp-S	10'	M	Evergreen shrub	Flowers at night. White buds and foliage poisonous. Can get out of control.	10b-11	<input type="checkbox"/>	<input type="checkbox"/>
Oleander	Nerium oleander	H	Sun	Wh, P, Y	15'	M	Evergreen shrub	Very poisonous. Host plant of the pink-spot moth.	8a-11	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Palm Palm	Chamaedorea elegans	L	Sh		6'	S		Densely clustering trunked palm	10b-11	<input type="checkbox"/>	<input type="checkbox"/>

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 Light P-Partial, L-Low, Sun-Full, Sh-Shade  
 Native checked=yes; not checked=no  
 Fla Hardiness Range - Plant Zone in Palm Beach County 9b to 10b

"Plant List"

Common Name	Scientific Name	Salt Tolerance	Sun/Shade	Flowers	Size	Growth	Type	Comments	Plant Zone	Native FL Species	Flowering
Peregina, Jatropha	Jatropha integerrima	M	Sun	Red/Y	8'	M	Evergreen shrub	Showy flowers. Poisonous	10b-11	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Philodendron	Philodendron spp								10a-11	<input type="checkbox"/>	<input type="checkbox"/>
Pineapple Guava	Fajpa sellowiana	M	P, Sun	Wh/Red	1-4'	M	Evergreen shrub	Pale, edible, fruit delicious. Flowering and fruiting hedge or shrub.	8a-11	<input type="checkbox"/>	<input checked="" type="checkbox"/>

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 Native checked=yes; not checked=no  
 Fla Hardiness Range - Plant Zone in Palm Beach County 9b to 10b

"Plant List"



Common Name	Scientific Name	Salt Tolerance	Sun/Shade	Flowers	Size	Growth	Type	Comments	Plant Zone	Native Species	Flowering
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Scrub Palmetto	Sabal palmetto	M	P, Sun	White	4'	M	Evergreen	Occurs only on peninsula on drier soil than dwarf palmetto. Rare	8a-10b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Sea Lavender	Argusia gnaphalodes (+A. robusta)	H	Sun	White/Sp	6'	S	Evergreen shrub	Silvery gray foliage. Endangered	9b-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Seagrape	Coccoloba uvifera	H	Sun	White	20'	M	Evergreen shrub	Edible fruit used for jelly. Good seaside plant. Broad spreading		<input checked="" type="checkbox"/>	<input type="checkbox"/>
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 Salt Tolerant L-Low, M-Medium, H-High  
 Light P-Partial, L-Low, Sun-Full, Sh-Shade  
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 Fla Hardiness Range - Plant Zone in Palm Beach County 9b to 10b

"Plant List"

Common Name	Scientific Name	Salt Tolerance	Sun/Shade	Flowers	Size	Growth	Type	Comments	Plant Zone	Native Species	Flowering
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Silver Buttonwood	Conocarpus erectus var. sinuatus	H	Sun	Pu/White	35'	M	Evergreen shrub/tree	Grows seaside in wet sandy or marl soils. Varieties have silver-blue or green foliage	10a-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Simpson Stopper	Mycarantes fragrans	H	P, Sun	White	25'	S	Evergreen shrub/tree	Fruit and flowers attractive to wildlife. Interesting bark	10a-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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 Salt Tolerant L-Low, M-Medium, H-High  
 Light P-Partial, L-Low, Sun-Full, Sh-Shade  
 Native checked=yes, not checked=no  
 Fla Hardiness Range - Plant Zone in Palm Beach County 9b to 10b

"Plant List"

Common Name	Scientific Name	Salt Tolerance	Sun/Shade	Flowers	Size	Growth	Type	Comments	Plant Zone	Native Species	Flowering
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Shrub Sand	Coccoloba auriflora	L	P, Sun	Y/S	13'	M	Evergreen shrub	Thorny hedge or shrub. Tiny flowers. Poisonous leaves.	9a-10b	<input type="checkbox"/>	<input type="checkbox"/>
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Shrub Bush	Bryonia disticha	L	P, Sun	White	6'	M	Evergreen shrub		10a-11	<input type="checkbox"/>	<input type="checkbox"/>
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Shruberry	Chococia alba	H	Sun	Y/Yr	10'	M	Evergreen vining shrub	Grows in hammocks and pine flatwoods. Fragrant flowers.	9b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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 Salt Tolerant L-Low, M-Medium, H-High  
 Light P-Partial, L-Low, Sun-Full, Sh-Shade  
 Native checked=yes, not checked=no  
 Fla Hardiness Range - Plant Zone in Palm Beach County 9b to 10b

"Plant List"

Common Name	Scientific Name	Salt Tolerance	Sun/Shade	Flowers	Size	Growth	Type	Comments	Plant Zone	Native Species	Flowering
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Softleaf Coffee	Psychotria rubra	L	Sun	White	6'	M/F	Evergreen shrubs	Requires shade. Foliage attractive. Wildlife food.		<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Spanish bayonet	Yucca aloifolia	H	Sun	White/S-F	14'	M	Evergreen shrub	Leaves spine-tipped. Host plant of giant skipper butterflies. Interesting interrelationship with yucca moths. Edible flowers.	8a-10b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Spanish stopper	Eugenia foetida	H	Sun	White	15'	M	Evergreen	Prunus well, small tree or large shrubs. Wildlife bird food (berries)	10a-11	<input type="checkbox"/>	<input type="checkbox"/>
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 Salt Tolerant L-Low, M-Medium, H-High  
 Light P-Partial, L-Low, Sun-Full, Sh-Shade  
 Native checked=yes, not checked=no  
 Fla Hardiness Range - Plant Zone in Palm Beach County 9b to 10b

"Plant List"

Common Name	Scientific Name	Salt Tolerance	Sun/Shade	Flowers	Size	Growth	Type	Comments	Plant Zone	Native FL Species	Flowering
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Sporewood	<i>Cajuputinus pallens</i>	M	P, Sun	WhSp-F	15'	S	Evergreen shrub	Blas Sp. Florida native can be used for a hedge	10b-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Sweetpire, Virginia	<i>Itea virginica</i>	L	P, Sun	WhSp	7'	M	Semi-evergreen shrub	Can sucker. Fall color. Tapsets of dry fragrant flowers.	8a-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Texas Sage	<i>Leucophyllum frutescens</i>	M	Sun	LS	5'	S	Evergreen shrub	Gray, giant foliage. Can be a hedge. Will die out if overwatered.	8a-10b	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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 Fla Hardiness Range - Plant Zone in Palm Beach County 9b to 10b

"Plant List"

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Thyralls	<i>Gajpharia gracilis</i>	M	P, Sun	YS-F	5'	M	Evergreen shrub	Showy flowers. Tolerant of dry conditions	10b-11	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Ti Plant	<i>Cordyline terminalis</i>	M	P, Sun	Wh/F	5'	M	Evergreen shrub	Showy fragrant flowers. Shrub or tree	10b-11	<input type="checkbox"/>	<input type="checkbox"/>
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Tibouchina	<i>Tibouchina clavata</i>	L	Sun	PuSp-F	6'	F	Evergreen shrub	Showy flowers, hairy leaves, many varieties with different growth habits.	10b-11	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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 Native checked-yes; not checked-no  
 Fla Hardiness Range - Plant Zone in Palm Beach County 9b to 10b

"Plant List"

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Tropical Sea Orye Daisy	<i>Barbicha abrotanens</i>	H	Sun	YSp-S	3'	M	Evergreen shrub	Showy flowers, well adapted for beach strands.	10a-11	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
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Vamash Leaf	<i>Dodonaea viscosa</i>	H	P, Sun	Wh/S	6'	S	Evergreen shrub	Shiny leaves, showy winged fruit.	8a-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Viburnum, Sandalwood	<i>Viburnum suspensum</i>	L	P, Sun	Wh/PKS	6'	M	Evergreen Shrub	Can be a hedge. Vulnerable to nematodes. Requires maintenance	8a-10b	<input type="checkbox"/>	<input type="checkbox"/>
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 Light P-Partial, L-Low, Sun-Full, Sh-Shade  
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 Fla Hardiness Range - Plant Zone in Palm Beach County 9b to 10b

"Plant List"

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Viburnum, Sweet	<i>Viburnum odoratissimum</i>	L	P, Sun	WhSp	8'	M	Evergreen Shrub	Can be used as a hedge	8a-10b	<input type="checkbox"/>	<input type="checkbox"/>
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Walker's Viburnum	<i>Viburnum abrotanum</i>	L	P, Sun	WhSp	20'	F	Deciduous to semi-evergreen shrub/tree	Showy flowers. Red to black edible berries attract wildlife, informal shrubs, upright or spreading forms.	8a-10a	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
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Wax Myrtle, Southern Bayberry	<i>Myrica carifera</i>	H	P, Sun	ClSp-S	20'	M	Evergreen shrub/tree	Berries covered with fragrant wax used by pioneers to make bayberry wax. Berries attract waxwings and other birds. Can root suckers and form a hedge in full sun. Deer rarely available.	8a-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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 Salt Tolerant L-Low, M-Medium, H-High  
 Light P-Partial, L-Low, Sun-Full, Sh-Shade  
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 Fla Hardiness Range - Plant Zone in Palm Beach County 9b to 10b

"Plant List"

Common Name	Scientific Name	Salt Tolerance	Sun/Shade	Flowers	Size	Growth	Type	Comments	Plant Zone	Native FL Species	Flowering
<b>White Indigo Berry</b>											
	<i>Randa aculeata</i>	H	Sun	Wh/Yr	8'	S	Evergreen shrub	Fragrant small flowers. Soft, dense. Females get wide berries. Occasionally gets an interesting "wren's broom". Good bird nesting shrub.	10a-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>White Stopper</b>											
	<i>Eugenia killipii</i>	H	Sun	White	15'	M	Evergreen	Has unique aroma. Can be pruned.	10B-11	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>Wild Coffee</b>											
	<i>Psychotria nervosa</i>	M	P, Sh	Wh/S-S	5'	F	Evergreen shrub	Fls. attractive to wildlife. Flowers attractive to butterflies. Rare wood beetle. Shiny deeply veined foliage.	10a	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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 Salt Tolerant L-Low, M-Medium, H-High  
 Light P-Partial, L-Low, Sun-Full, Sh-Shade  
 Native checked=yes; not checked=no  
 Fla Hardiness Range - Plant Zone in Palm Beach County 9b to 10b

"Plant List"

Common Name	Scientific Name	Salt Tolerance	Sun/Shade	Flowers	Size	Growth	Type	Comments	Plant Zone	Native FL Species	Flowering
<b>Yellow Anise</b>											
	<i>Illicium parviflorum</i>	L	P	Y/Sp	15'	M	Evergreen shrub	Distinctive flowers and fragrant foliage. Rare.	9a-9b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>Yellow Elder</b>											
	<i>Tecoma stans</i>	M	P, Sun	Wh/S	10'	M	Evergreen shrub	Attractive flowers and foliage. Can be used in hedge.		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
<b>Yellow Necklace Pod</b>											
	<i>Sophora tomentosa var. furcata</i>	H	Sun	Y/Yr	8'	M	Evergreen shrub	Showy yellow flowers. Poisonous. Attract butterflies. Soft, silvery gray foliage.	10a-11	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

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"Plant List"

Common Name	Scientific Name	Salt Tolerance	Sun/Shade	Flowers	Size	Growth	Type	Comments	Plant Zone	Native FL Species	Flowering
<b>Wild Rosemary</b>											
	<i>Conradina caryocarpa</i>	M	Sun	L/Sp	4'	M	Evergreen shrub	Aromatic foliage. Flowers attract insects. Difficult to establish.	9a-9b	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>Wild Sage, Buttonsage</b>											
	<i>Lantana involucrata</i>	M	Sun	Wh/Yr	6'	F	Evergreen shrub	Flowers attractive to butterflies.	10a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<b>Xanadu Philodendron</b>											
	<i>Philodendron xanadu</i>	L	Shade, P	None	3'	M	Evergreen	Medium texture		<input type="checkbox"/>	<input type="checkbox"/>

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"Plant List"

Common Name	Scientific Name	Salt Tolerance	Sun/Shade	Flowers	Size	Growth	Type	Comments	Plant Zone	Native FL Species	Flowering
<b>Yesterday's Today &amp; Tomorrow</b>											
	<i>Bouffaisia grandiflora</i>	M	Sun	Wh/Pu/S	8'	M	Evergreen shrub	Showy purple flowers with white centers.	10b-11	<input type="checkbox"/>	<input checked="" type="checkbox"/>

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"Plant List"

Common Name	Scientific name	Salt	Light	Size	Growth	Type	Florida Hardness Range	Comments	Fla Native Species	Flowering
Asian Sword Fern Nepenthes multiflora									<input type="checkbox"/>	<input type="checkbox"/>
Aster, Stokes	Stokesia laevis	M	P,Sh,Sun	1'	M	Perennial	8a-11	Cold-hardy. Requires well-drained soil. Prone to rot and aphids.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Amurhemp, Lily	Zephyranthes atamasco	H	P,Sun	2'	S	Perennial	8b-11	Also called Beam Lily. Erect white flowers and green bracts. In the Amaryllidaceae family. Bulbs toxic. Threatened in Florida.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Bahagrass	Paspalum notatum	L	Sun	2'	M	Turfgrass	8a-11	Low maintenance	<input type="checkbox"/>	<input type="checkbox"/>
Beach Morning Glory	Ipomoea imperata (L. soil)	M	Sun	0.5'	F	Herbaceous	8a-10b	Shiny flowering vine for beach dunes and sunny sandy spots. Toxic to people.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Begonia, Wax	Begonia x Semperflorens	L	P,Sh,Sun	1'	M	Perennial	8a-11	Cold tender. Sun adapted cultivars available. Leaves can be green, bronze or mahogany red. Damaged by nematodes. Does best during cooler months.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

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 to 10b

" Plant List"

Common Name	Scientific name	Salt	Light	Size	Growth	Type	Florida Hardness Range	Comments	Fla Native Species	Flowering
Bermuda Grass	Cynodon dactylon	H	Sun	5'	M	Turfgrass	8a-11	Butterfly host plant. Lawns.	<input type="checkbox"/>	<input type="checkbox"/>
Bird's Nest Fern	Asplenium nidus	L	P,Sh	2.5'	M	Fern	10b-11	Can be epiphytic.	<input type="checkbox"/>	<input type="checkbox"/>
Bitter Panagrass	Panicum amarum	H	Sun	3.5'	F	Bunchgrass	8a-9b	Bluish leaves. Coastal, good for stabilizing dunes.	<input type="checkbox"/>	<input type="checkbox"/>
Black-eyed Susan	Rudbeckia hirta	L	Sun	3'	M	Annual	8a-11	Yellow petals with brown centers. Not frost-tolerant. Long lasting flowers for cutting.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Blanket Flower	Gaillardia pulegiella	H	Sun	2'	F	Annual	8a-11	Bicolor mixed flowers. Recedes readily. Great variation in color. Few insect problems.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Blue Flag Iris	Iris hexagona	L	P,Sh,Sun	3'	M	Perennial	8a-11	Also called Dove Iris and Prince Iris. Found in swamps and wet prairies in So. and central Florida, as well as neighboring states.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

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 to 10b

" Plant List"



## Palm Beach County Ground Covers

Monday, October 18, 2004 11:31 AM

Common Name	Scientific name	Salt	Light	Size	Growth	Type	Florida Hardness Range	Comments	Fla Native Species	Flowering
	Phytolacca graminifolia	L	P,Sh,Sun	3'	M	Perennial	8a-11	Also called Silk grass. Grass-like, narrow linear leaves have an attractive silvery pubescence. Often occurs in colonies. Exhibits great variability.	<input type="checkbox"/>	<input type="checkbox"/>
African Iris	Dielsia iridoides	L	P,Sh,Sun	3'	M	Perennial	9b-11	Spreads by creeping rhizomes.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Ageranthus	Ageranthus africanus	L	P	2'	M	Herbaceous	9a-11	Short-lived in So. Florida. Showy flowers.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Alice	Alice herbardenas	H	P,Sun	1.5'	S	Succulent	10a-11	Fleshy leaves have sap that soothes burns and cuts. Specimen plant looks good in rock gardens.	<input type="checkbox"/>	<input type="checkbox"/>
Antlers Plant	Pilea microphylla	L	Sh	1'	M	Herbaceous	10b-11	Cultivar 'Nothlight' is more colorful. Can escape cultivation.	<input type="checkbox"/>	<input type="checkbox"/>

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**Fla Native Species** not checked=no  
**Fla Hardness Range - Plant Zone in Palm Beach County 9b**  
 to 10b

" Plant List"

Common Name	Scientific name	Salt	Light	Size	Growth	Type	Florida Hardness Range	Comments	Fla Native Species	Flowering
False Heather	Cupressus lusitanica	I	P-Sun	1.5'	M	Woody shrub	9a-11	Dies back in winter in No. Florida, then comes back in spring.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Fountain Grass	Pennisetum setaceum	I	Sun	3'	M	Herbgrass	3/4-7/9	Green and purple foliage. Can escape cultivation.	<input type="checkbox"/>	<input type="checkbox"/>
Giant Latheria	Acrostichum danicifolium	II	P	8'	M	Fern	9a-11	Huge leaves. Specimen plant for wet areas.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Giant Sword Fern	Nephrolepis biserrata	I	P-Sh	4'	M	Fern	10b-11	This fern and its relative, Nephrolepis macrospora, are a dense groundcover in shady, moist areas.	<input type="checkbox"/>	<input type="checkbox"/>
Grass, Butterfly	Hedyotis coronarium	M	P-Sh	5'	F	Perennial shrub	9a-11	Fragrant flowers.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Golden Creeper	Franklinia albertiana	II	Sun	2'	M	Evergreen	10b-11	Rare. Excellent ground cover for very dry areas.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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"Plant List"

Common Name	Scientific name	Salt	Light	Size	Growth	Type	Florida Hardness Range	Comments	Fla Native Species	Flowering
Gopher Apple	Lycium michauxii	II	Sun	1'	S	Woody evergreen	8a-11	Underground shrub that pokes its leaves, fruits and flowers above ground. Thrives in very well-drained sandy soils. Fragrant fruits deleterious to gopher tortoise.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Green Eyes	Helianthus scaberrimus	L	Sun	1.5'	F	Perennial	8a-11	Greenish-yellow central disk flower.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Holly Fern	Cyrtium filicium	M	P-Sh	1.5'	S	Cycad	9b-11	Droops most, shady areas. Glossy green foliage.	<input type="checkbox"/>	<input type="checkbox"/>
Holly Dwarf Yucca	Yucca montana	Stokes Dv. II	P	2-5'	M	Evergreen woody shrub	8a-10a	Forms smooth rounded bushes. Males only - no berries. High Street value.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Iris, Virginia	Iris virginica	I	Sun	3'	M	Perennial	8a-11	Also called Virginia Iris. Flowers in spring in So. Florida and summer in more northern areas.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Jasmine, Small Leaf C	Trichlopernum asiaticum	M	P-Sun	0.5'	M	Woody evergreen vine	8a-10b	Forms a thick mat which eliminates other plants. Invades surrounding areas.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

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"Plant List"

Common Name	Scientific name	Salt	Light	Size	Growth	Type	Florida Hardness Range	Comments	Fla Native Species	Flowering
Blue Porterweed	Stachys saripeta jamaicensis	II	P-Sun	1.5'	M	Herbaceous	9a-11	Flowers attractive to butterflies. Also used as stam.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Blue-eyed Grass	Sisyrinchium angustifolium		Sun	0.5'	M	Herbaceous	8a-11	Lovely blue wildflower adds diversity and spring color to lawns.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Butterfly Weed	Asclepias tuberosa	M	P-Sun	2'	F	Perennial	8a-9b	Also known as pleurisy root. Important nectar and larval food plant for butterflies. Sap is not milky.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Canna's generalis	Canna's generalis	L	P-Sh, Sun	5'	F	Perennial	8a-11	Colors can be striped or splashed. Dwarf cultivars are available. Cannas leaf roller a major problem.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Cardinal Flower	Lobelia cardinalis	L	P-Sh, Sun	3'	M	Perennial	8a-11	Stalks of intensely red flowers. Hummingbird-pollinated.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Castor Bean	Aspidistra elatior	M	P-Sh	2'	S	Herbaceous	9a-11	Great for deep shade and drought tolerance.	<input type="checkbox"/>	<input type="checkbox"/>

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Common Name	Scientific name	Salt	Light	Size	Growth	Type	Florida Hardness Range	Comments	Fla Native Species	Flowering
Cinnamon Fern	Osmunda cinnamomea		P-Sh	4'	M	Fern	8a-11	Bloom is cinnamon colored spike.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Climbing Aster	Aster carolinianus	L	P-Sun	1.5'	F	Perennial	8a-11	Spreading wildflower. Attracts butterflies. Flower color varies.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Common Tickseed	Cotoneaster laeviflorus	L	Sun	5'	F	Perennial	8a-11	Often found on disturbed sites. Yellow petals with brown centers. Likes moist soils.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Confederate Jasmine	Trachelopetrum jasminum	M	P-Sun		F	Vine	8-10B	Fragrant white flower.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Daisy	Hemionallis hybrids	II	Sun	2'	M	Herbaceous	8a-10b	Hundreds of cultivars exist. Shows colorful flowers are viable in bad. Moderate Street value.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Dotted Rosemary	Monarda punctata	II	Sun	4'	F	Perennial	8a-11	Also called Spotted Bee Balm. Attracts butterflies and bees. Aromatic foliage.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

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"Plant List"



Common Name	Scientific name	Salt	Light	Size	Growth	Type	Florida Hardness Range	Comments	Fla Native Species	Flowering
Sage, Lye-leaved	Salvia lyrata	I	P, Sh, Sun	1.5'	M	Perennial	8a-11	Basal rosette with lye-shaped and markings on leaves. Slender stalks of purple flowers. Mint family	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Sage, Tropical Red	Salvia coccinea	M	Sun	2'	F	Perennial	8a-11	Red flowers attract butterflies and hummingbirds. Research profusely.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Salgrass	Dactyloctenium aegyptium	II	Sun	1.5'	Grass	37479	Warm-season perennial grass	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Saltmeadow Cord Grass	Spartina patens	M	Sun	2'	M	Grass	8a-9b	Spreading grass	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sand Cord Grass, Short	Spartina bakeri	M	Sun	3-6'	M	Bunchgrass	8a-11	Robust perennial of salt marshes and dunes. Stabilizes dunes and parking lots.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Scarlet Milkweed	Asclepias curassavica	L	Sun	4'	F	Perennial	9b-11	Also called Blood Flower and Tropical Milkweed. Attracts larvae of queen monarch and soldier butterflies. Pan-tropical weed-naturalized in So. and central Florida	<input type="checkbox"/>	<input checked="" type="checkbox"/>

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Common Name	Scientific name	Salt	Light	Size	Growth	Type	Florida Hardness Range	Comments	Fla Native Species	Flowering
Sea Oats	Uniola paniculata	II	Sun	4'	M	Grass	8a-11	Native protected species. Stabilizes beach dunes. Flower and seed heads are distinctive and attractive in dry flower arrangements.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sea Oxeye Daisy	Hieracium frutescens	II	Sun	3'	S	Waxy perennial	8b-11	Silvery foliage. Forms extensive colonies. Brachia arborescence has dark green leaves and occurs in SW Florida.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Sea Purslane	Sesuvium portulacastrum	II	Sun	1-3'	M	Herbaceous	9a-10b	Succulent beach stabilizer wildflower	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Seashore Dropseed	Sporobolus vaginatus	II	Sun	1'	M	Bunchgrass	8a-11	Slipper host plant. Mows well.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sensative Populium	Populium virginicum	II	Sun	2'	M	Grass	37479	Coastal. Dune stabilizer and lawn grass	<input type="checkbox"/>	<input type="checkbox"/>
Seaside Goldenrod	Solidago sempervirens	II	Sun	6'	F	Perennial	8a-11	Pollen is too large to cause allergies.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

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Common Name	Scientific name	Salt	Light	Size	Growth	Type	Florida Hardness Range	Comments	Fla Native Species	Flowering
Shrub Verbena	Lantana depressa	II	Sun	1.5'	M	Perennial	10b-11	Native hybridizes freely with Lantana camara	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Smooth Water-Ivy	Hieracium monnini	II	Sun	0.5'	M	Herbaceous	8a-11	Butterfly host plant. Flowering groundcover for wet areas.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Snowberry, Pineland	Chaenactis alba (C. pinet)	L	Sun	2.5'	S	Evergreen shrub	10b-11	A vening shrub with attractive white flowers. Grows on shell mounds.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Society Garlic	Talibegia violacea	M	P, Sun	1.5'	M	Herbaceous	10a-11	Garlic-scented flowers don't bloom well in shade. High Street value.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Southern Shield Fern	Thelypteris kunthii	L	P, Sh	2.5'	M	Fern	8a-10b	Grows on rocks and in shade. Prefers moist area.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Spider Lily	Hyacinthus latifolia	II	P	3'	M	Herbaceous	8a-10b	Shows fragrant flowers attractive to large hawk moths. Recommended ground cover. Use only outside of light triangle.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

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Common Name	Scientific name	Salt	Light	Size	Growth	Type	Florida Hardness Range	Comments	Fla Native Species	Flowering
Spiderwort Blue	Tradescantia ohiensis	P, Sun	3'	M	Perennial	8a-11	Rhizomatous, forms clumps, blue flowers. Dropspagh tolerant.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Spread Cruger	Cosmos barbatus	M	P, Sh	5'	M	Perennial	8a-11	Also called Red French Cruger. Shows waxy foliage. Attracts butterflies. Large flowers spirally arranged. Sprawling, spreading clump.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
St. Augustine Grass	Stenotaphrum secundatum	II	P, Sun	0.5'	F	Turfgrass	8a-11	Slipper butterfly host plant.	<input type="checkbox"/>	<input type="checkbox"/>
St. John's Wort	Hypericum spp.	II	Sun	1.5'	M	Evergreen shrub	8a-9b	Also called Scrubwort. Reaching bushy-branched flowering shrubs. Grows in wetlands.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sunflower, Beach	Helianthus debilis	II	Sun	1.5'	F	Herbaceous annual or perennial	8a-10b	Shows flowering groundcover for beach dunes and sunny sandy spots. Moderate Street value.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Swamp Fern	Blechnum striatum	I	P, Sh	2'	M	Fern	9a-11	For shady, moist areas.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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Common Name	Scientific name	Salt	Light	Size	Growth	Type	Florida Hardness Range	Comments	Fla Native Species	Flowering
Sword Fern	<input type="text" value="Nephrolepis cordifolia"/>	L	L	2'	M	Fern	10b-11	Specimen Plant	<input type="checkbox"/>	<input type="checkbox"/>
Verbena, Beach	<input type="text" value="Verbena maritima"/>	H	Sun	1-3'	F	Perennial	9b-11	Also called Coastal Mock Yervain. Reseeds in sandy disturbed areas. Does not like to be mulched. Uncommon-threatened.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Walking Iris	<input type="text" value="Neomarica spp."/>	L	P	3'	M	Herbaceous	10b-11	Each flower lasts one day.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
White-Flowered Wand	<input type="text" value="Tradescantia fluminensis"/>								<input type="checkbox"/>	<input type="checkbox"/>
Wild Petunia	<input type="text" value="Ruellia carolinensis"/>	L	Sun	1-3'	M	Semi-woody	8a-11	Pale blue flowers brighten up already wooded areas.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Wiregrass	<input type="text" value="Aristida beyrichiana"/>	Sun	Sun	2-3'	M	Bunchgrass	8a-11a	Flowers following fire. A gopher tortoise staple food. Ideal for mixing with wildflowers in dry areas.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

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Common Name	Scientific name	Salt	Light	Size	Growth	Type	Florida Hardness Range	Comments	Fla Native Species	Flowering
Yellow Althea Iris	<input type="text" value="Diets-bushier"/>	L	P/Sh/Sun	3'	M	Perennial	9b-11	Also called Morning Lily because flowers bloom in a two-week cycle.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Yellow Canna	<input type="text" value="Canna flaccida"/>	L	P/Sh/Sun	4'	F	Perennial	8a-11	Aster family with flatish heads of tubular rose-colored flowers.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Yellowtop	<input type="text" value="Flaveria linearis"/>	H	Sun	4'	F	Perennial	8b-11	Goldenrod relative with flat-topped clusters of small yellow flowers.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Zoyisa Grass	<input type="text" value="Zoyisa japonica"/>	H	P/Sun	0.5'	S	Turfgrass	8a-11		<input type="checkbox"/>	<input type="checkbox"/>

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 - Plant List"

# **Complete Streets Report**

## **Town of Lake Park, Florida**

Nadia Di Tommaso, Community Development Director

Scott Schultz, Town Planner

Bell David Planning Group

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December 4, 2015

# I. Background

In cities and towns across the United States, forward-thinking transportation planners and policy makers are transforming their communities with a simple shift in design focus: complete the street by considering all potential users. This simple shift in focus and slight broadening of scope, has almost unlimited potential for improving the livability of a community. When all possible users are considered, streets are safe for children to walk to school, parents can bike and walk to neighborhood parks and neighbors of all ages and physical ability can safely navigate sidewalks, public transit, bike lanes, and roadways as they make their way around the community.

This concept is Complete Streets. It is an old concept made new again as cities and towns turn their attention and resources to making their communities more accessible places, beginning with the most basic of public spaces—our streets and roadways.

Complete Streets is a profound policy change from how designers and engineers typically approach the public roads in their communities. Adoption of a Complete Streets policy does far more than just accommodate additional users of a road or street. When transportation planners broaden their design focus to include all potential users of the road, they begin to view streets as places. Adoption of a Complete Streets policy is an acknowledgment that the role of streets is to build communities, not simply to move cars. In this manner, transportation policies become another tool for Lake Park to create place and destination that make our Town more livable. A Complete Streets Policy Statement is a blueprint for the work ahead. Simply put, Complete Streets are for everyone.

# II. What is a Complete Streets Policy?

A Complete Streets Policy is a formal statement of a community's intent to plan, design, improve, and maintain streets so they are safe for all users. Complete Streets policies direct transportation planners and engineers to consistently design and construct the right-of-way to accommodate all anticipated users. The aim of this Complete Streets Policy Statement is to improve the quality of life in Lake Park by creating streets that are both great public spaces and sustainable transportation networks.

A Policy Statement is a blueprint for integrating Complete Streets design practices into the routine development of streets and roadways. After formal adoption, the Town will use that Policy Statement to devise road and street design manuals based on Complete Streets concepts.

## **Policies for Lake Park:**

### **1. Complete Streets serve all users and modes.**

The Town shall develop the community's streets and right-of-way so as to promote a safe, reliable, efficient, integrated and connected transportation system that will promote access, mobility and health for all users: people traveling as pedestrians and by bicycle, transit riders, motorists and others. Town streets and/or street networks shall accommodate emergency responders and freight needs as well, in a manner consistent with this policy.

### **2. Complete Streets require connected travel networks.**

Complete Streets require connected travel networks. Streets shall be connected to create complete transportation networks that provide travelers with multiple choices of travel routes within and between neighborhoods reducing congestion on major roadways.

**3. Complete Streets require best-practice design criteria and context-sensitive approaches.**

In recognition of context sensitivity, public input and the needs of many users, the Town will align related goals, policies and code provisions to create Complete Streets solutions that are appropriate to individual contexts; that best serve the transportation needs of all people using streets and the right-of-way; and that support the land-use policies of the Town of Lake Park. The Town will take a flexible, innovative, and balanced approach to creating context sensitive Complete Streets that meet or exceed national best-practice design guidelines. Design criteria shall not be purely prescriptive but shall be based on the thoughtful application of engineering, architectural and urban design principles.

**4. Complete Streets are the work of all Town departments.**

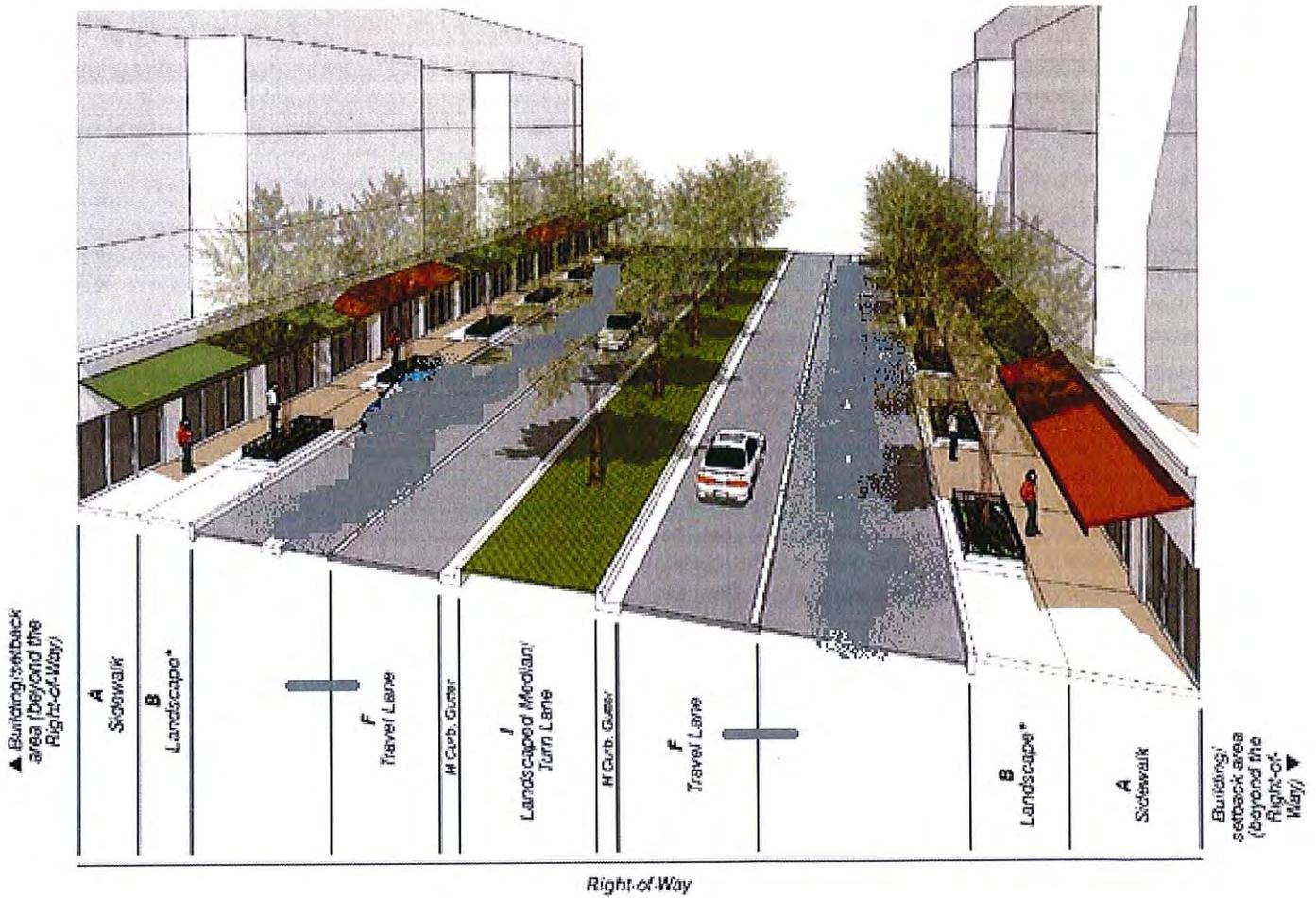
Complete Streets are the work of all Town departments. The Town shall foster partnerships with the State of Florida, Palm Beach County, public transit agencies, neighboring communities and counties, and business and school districts to develop facilities and accommodations that further the Town's complete streets policy and continue such infrastructure beyond the Town's borders.

**5. Complete Streets include all roadways and all projects and phases.**

The Town shall approach every transportation improvement and project phase as an opportunity to create safer, more accessible streets for all users. The Town shall establish a procedure by which Complete Streets is incorporated into the routine planning, design, implementation and operation of all transportation infrastructure upon adoption of a policy. That procedure shall include a Complete Streets Checklist that must be completed for all projects.

### III. Vision for Lake Park: Federal Highway Corridor

- 1) Sidewalks
- 2) Landscape buffers
- 3) 2 northbound travel lanes
- 4) 2 southbound travel lanes
- 5) Green center median
- 6) Improved crosswalks at intersections
- 7) Mid-point crosswalks
- 8) Pedestrian shelter in medians



**Street Type Required Elements**

	Sidewalk/ Walkway (Min.)	Landscape	Curb/ Gutter	Landscaped Median	Travel Lanes	Additional Travel/Turn Lanes (Min.)
<b>Service Road Type</b>	N/A	N/A	N/A	N/A	10'	N/A
<b>Pedestrian Passage Type</b>	10'	Tree grates; tree planters	N/A	N/A	N/A	N/A
<b>Complete Street Type</b> (No on-street Parking Parking – No Bicycle Lanes)	8' (Center)	Tree grates; tree planters (5 feet); AND continuo -us landscape strip in center median area (11 feet)	2'	11'	11'	11' where provided

## IV. Landscaping

The Town has adopted a list of plant species that are consistent with our regional climate and compatible with standards implemented by utility authorities such as Florida Power and Light, Seacoast Utilities and are also in coordination with County and State standards to encourage native and non-invasive specimens. The Town will continue to work with these entities to update and revise its list of preferred plant species.

Some specimens that are of specific interest for the Federal Highway Corridor follow this section and are species already common along the Town's other Commercial Corridors such as Northlake Boulevard, Old Dixie Highway, and North Congress Avenue.

### Adonidia Palm

The adonidia is easy care because it's self-cleaning, meaning the spent fronds just fall off by themselves, a big low-maintenance plus. Adonidias are pretty much pest-free. Growing slowly to an average height of 12 to 15 feet, this palm is moderately salt-tolerant - it usually won't be affected by salt spray.



## Sylvester Palm

Sylvester palms are slow growers to an ultimate height of 40 feet. They stay low to the ground while young, eventually growing an attractive trunk with diamond-shaped leaf-base scars.

This palm is very cold hardy taking Zone 9 temperatures in stride. It's also drought-tolerant as well as moderately-salt-tolerant.



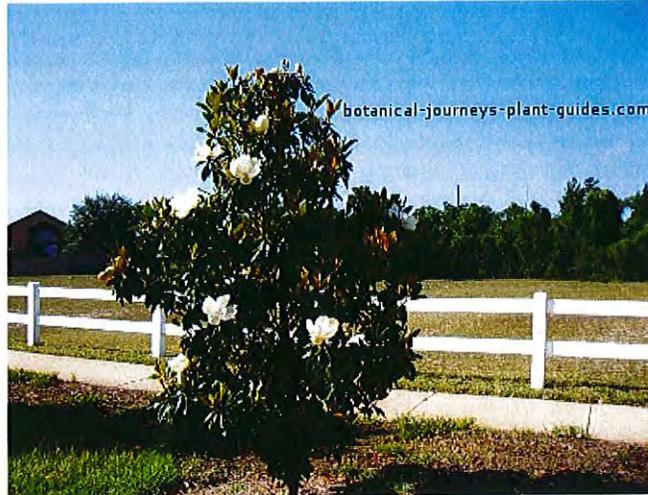
## Dahoon Holly

Attractive when tightly clipped into a tall screen or allowed to grow naturally into its single-trunked, small tree form, Dahoon Holly is ideal for a variety of landscape settings. Capable of reaching 40 feet in height, Dahoon Holly is usually seen at a height of 20 to 30 feet with an 8 to 12-foot spread.



## Dwarf Magnolia

A dwarf Southern Magnolia with smaller dark green foliage and very compact narrow form. The large, evergreen leaves have rusty-brown on the undersides. Naturally a small tree or large shrub. Attractive when trained as an espalier against a wall or fence. Highly useful in small gardens. Moderate growing to 20 to 25 ft. tall, 10 to 15 ft. wide.



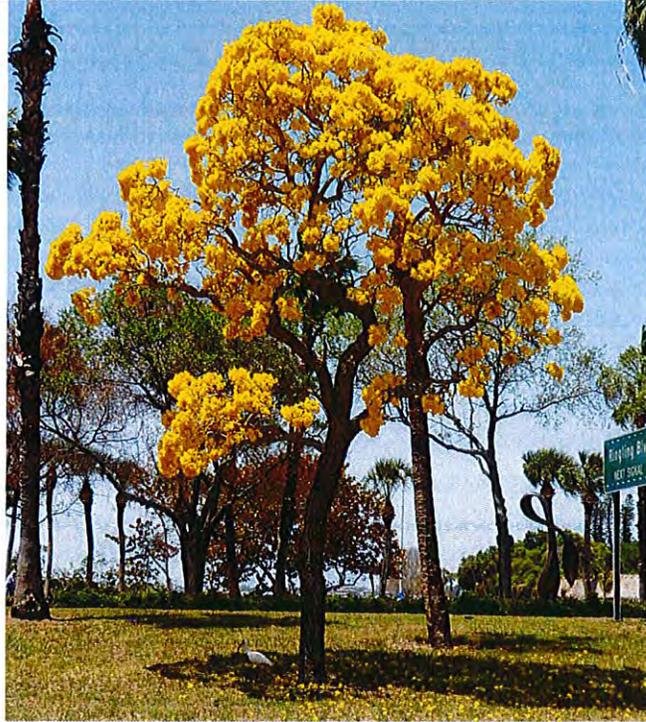
## Cocoplum

Cocoplum, a South Florida native, is an outstanding texture plant with a "beachy" look, producing an edible plum which many critters (including people) enjoy. Terrific as hedge shrubs these are typically seen trimmed to around 4 feet.



## Tabebuia Tree

The showy tabebuia tree announces springtime in South Florida, with varieties that flower in pink, lavender-pink, and golden yellow, although yellow is the most common. These highly ornamental trees grow between 20 and 30 feet and make great single specimen trees for medium-sized yards as well as pretty accents in larger properties.



## Cassia Tree

The Cassia Tree is incredibly beautiful in full bloom, and they make perfect small-space trees growing to only 10 feet tall with spring and fall flowers.



## V. Implementation

The Town recognizes that "Complete Streets" may be achieved through single elements incorporated into a particular project or incrementally through a series of smaller improvements or maintenance activities over time. Additionally, the Town recognizes the importance of approaching transportation projects within the context of the larger street network, and that all modes do not necessarily need to receive the same type of accommodation and space on every street.

To carry out this policy, the Town of Lake Park will take the following next steps:

1. The Public Works and Planning Departments and other relevant departments, agencies, or committees will incorporate Complete Streets principles into all existing plans, manuals, checklists, decision-trees, rules, regulations, and programs as appropriate;
2. The Public Works and Planning Departments and other relevant departments, agencies and committees will review current design standards, including subdivision regulations which apply to new roadway construction, to ensure that they reflect the best available design standards and guidelines, and effectively implement Complete Streets in accordance with this policy;
3. When available, the Town shall encourage staff professional development and training on non-motorized transportation issues through attending conferences, classes, seminars, and workshops;
4. Town staff shall identify all current and potential future sources of funding for street improvements and recommend improvements to the project selection criteria to support Complete Streets projects.

## VI. Funding Sources

Funding for transportation projects comes from three primary sources: Local, State and Federal. Yet each year funding is more difficult to come by. Cities and counties, face the dilemma of rising costs of transportation projects, increasing traffic volumes and limitations on their ability to generate revenue. The cost of construction and materials increased by 44 percent between 2000 and 2013, more than the 35 percent rise in the overall rate of inflation. Fast changing economic environments put pressure on local governments to keep up with growth and congestion. At the same time, most states limit counties' ability to raise revenue. In Florida in recent years, the State Legislature has capped property tax, lowered property taxes and has attempted to take away the ability for local governments to tax.

Faced with rapidly increasing construction costs and traffic volumes local governments are finding new funding and financing solutions for transportation. Often, these solutions involve partnerships with other jurisdictions, the private sector and most of all county residents. Unfortunately Florida is a donor state,

giving more into the federal system than it gets back. Most monies for large projects are collected locally, provided to the Federal Government, then reallocated to the states to be administered to agencies like FDOT. Below is a description of relevant funding opportunities at all levels.

## **Local Funding**

Local funding is money that is generated from within a city or county. These sources generally rely on property taxes or other funds. Many communities have concurrency fees or impact fees, which can be applied to local infrastructure projects. In high growth communities it is advised that they consider these, in the form of mobility fees, which through the rational nexus between impact and the fee, have the capability to provide that developments fund their fair share of the infrastructure needed to support their development.

### **1. Transportation Alternatives (TA) Program**

Funded through a federal cost reimbursement grant where projects are selected by the Palm Beach County Metropolitan Planning Organization (MPO) but administered by the Florida Dept. of Transportation (FDOT). Approximately \$3M has been allocated annually in recent years to fund Transportation Alternative (TA) projects.

Application requests are limited to a minimum of \$250,000 and a maximum MPO funding amount of \$750,000 for Transportation Alternatives (TA) or Safe Routes to School (SRTS) infrastructure applications. There is no minimum or maximum amount for SRTS non-infrastructure applications.

Eligible applicants include municipal, county, state or federal agencies. Examples include local governments, regional transportation authorities, transit agencies, natural resource or public land agencies, school district or individual schools, etc. Eligible applicants for Safe Routes to School include public schools or school districts, private schools, government agencies, health departments, colleges and universities.

Funds allocated for projects during the 2016 application process will be made available July 1, 2019.

### **2. Local Initiatives (LI) Program**

Funded through the MPO's federally suballocated Surface Transportation Program funds from the collection of federal gas tax revenue.

Application requests are limited to a minimum of \$250,000 and a maximum MPO funding amount of \$2.5M inclusive of all phases (e.g. design, construction and CEI.). The Program cannot fund right-of-way acquisition.

Eligible applicants include municipal, community redevelopment, county, state or federal agencies. Examples include local governments including CRAs, regional transportation

authorities, transit agencies, natural resource or public land agencies, school district or individual schools, etc.

Eligible project types:

Transportation system management and operations (ITS, "complete streets," lighting, safety improvements); Transit Capital (vehicle purchases, shelters, park-and-ride facilities); Non-motorized (buffered and designated bike lanes, sidewalks, shared-use paths); Freight (airport or seaport off-site capacity improvements, railway capacity improvements).

Funds allocated for projects during the 2016 application process will be made available July 1, 2021.

## **State Funding**

The State of Florida has several funding sources that primarily come from FDOT.

The Governor's newly proposed FY 2016/2017 transportation budget makes the following investments:

- \$3.3 billion for construction of highway projects to keep Florida's transportation infrastructure among the best in the country.
- \$153.9 million in seaport infrastructure improvements to keep Florida First in the world for ocean cruise passengers and a major U.S. cargo gateway.
- \$237.6 million for aviation improvements to keep Florida First in airport infrastructure investments.
- \$731.9 million for scheduled repair of 48 bridges and replacement of 21 bridges to keep Florida's bridges among the best structures in the country.
- \$963.4 million for maintenance and operation to keep Florida's infrastructure among the best maintained in the country.
- \$574 million for public transit development grants to keep Florida's growth in transit ridership over the last five years among the best in the country.
- \$159 million for safety initiatives to continue to improve the safety of families and visitors on our roads.
- \$46.6 million for bike and pedestrian trails to keep Florida's trail development among the best in the country.

### **1. Economic Development Transportation Fund**

The Economic Development Transportation Fund, commonly referred to as the "Road Fund," is an incentive tool designed to alleviate transportation problems that adversely impact a specific company's location or expansion decision. The award amount is based on the number of new and retained jobs and the eligible transportation project costs, up to \$3 million. The award is made to the local government on behalf of a specific business for public transportation improvements.

## **2. The Transportation Regional Incentive Program (TRIP)**

The TRIP fund was created as part of major Growth Management legislation enacted during the 2005 Legislative Session (SB 360). The purpose of the program is to encourage regional planning by providing state matching funds for improvements to regionally significant transportation facilities identified and prioritized by regional partners. Eligible partners are shown in the chart on the right. These partners must form a regional transportation area, pursuant to an interlocal agreement, and develop a regional transportation plan that identifies and prioritizes regionally significant facilities. To qualify for TRIP funding, partners must sign an interlocal agreement that:

- includes development of the regional transportation plan
- delineates the boundaries of the regional transportation area
- provides the duration of the agreement and how it may be changed
- describes the planning process, and defines a dispute resolution process

TRIP funds are to be used to match local or regional funds up to 50% of the total project costs for public transportation projects. In-kind matches such as right of way donations and private funds made available to the regional partners are also allowed. Federal funds attributable to urbanized areas over 200,000 in population may also be used for the local/regional match.

## **3. FDOT Programs**

The Florida Department of Transportation Safety Office (FDOT) funds subgrants that address traffic safety priority that may be awarded for assisting in addressing traffic safety deficiencies, expansion of an ongoing activity, or development of a new program. Those programs include:

- Aging Road Users
- Community Traffic Safety
- Impaired Driving
- Motorcycle Safety
- Occupant Protection and Child Passenger Safety
- Pedestrian and Bicycle Safety
- Police Traffic Services
- Speed and Aggressive Driving
- Teen Driver Safety
- Traffic Records
- Traffic Record Coordinating Committee (TRCC)

## **Federal Programs**

Federal programs make up the bulk of the funding for large projects. This is so because state governments contribute to the federal government, which in turn provides those funds back to the state. Florida is a donor state, which means it receives less than it contributes each year. There are competitive grant programs which often require local matches.

The US Department of Transportation helps communities fund transportation projects by issuing grants to eligible recipients for planning, vehicle purchases, facility construction, operations, and other purposes. The USDOT administers this financial assistance according to federal transportation authorization, MAP-21. There are a large number of programs and grants within the Department of Transportation that support projects that enhance or relate to livability.

### **Grants and Programs:**

- Surface Transportation Improvement
- Accessibility to Disadvantaged Populations
- Fixed Guideway Systems
- Rail
- Surface Transportation Planning
- Bike/Pedestrian
- Marine Transport
- Air Transport
- Research & Miscellaneous

### **Surface Transportation Program (STP)**

The Surface Transportation Program (STP) is one of the main sources of flexible funding available for transit or highway purposes. STP provides the greatest flexibility in the use of funds. These funds may be used as capital funding for public transportation capital improvements, car and vanpool projects, fringe and corridor parking facilities, bicycle and pedestrian facilities, and intercity or intracity bus terminals and bus facilities. As funding for planning, these funds can be used for surface transportation planning activities, wetland mitigation, transit research and development, and environmental analysis. Other eligible projects under STP include transit safety improvements and most transportation control measures. STP funds are distributed among various population and programmatic categories within a State. Some program funds are made available to metropolitan planning areas containing urbanized areas over 200,000 population; STP funds are also set aside to areas under 200,000 and 50,000 population. The largest portion of STP funds may be used anywhere within the State to which they are apportioned. State and local governments are eligible for these funds.

### **Bus and Bus Facilities Program**

The Buses and Bus Related Equipment and Facilities program provides capital assistance for new and replacement buses, related equipment, and facilities. Eligible capital projects include the purchasing of buses for fleet and service expansion, bus maintenance and administrative facilities, transfer facilities, bus malls, transportation centers, intermodal terminals, park-and-ride stations, acquisition of replacement vehicles, bus rebuilds, bus preventive maintenance, passenger amenities such as passenger shelters and

bus stop signs, accessory and miscellaneous equipment such as mobile radio units, supervisory vehicles, fare boxes, computers and shop and garage equipment. Funds are allocated on a discretionary basis. Eligible recipients include public bodies and agencies (transit authorities and other state and local public bodies and agencies thereof) including states, municipalities, other political subdivisions of states; public agencies and instrumentalities of one or more states; and certain public corporations, boards and commissions established under state law. Private companies engaged in public transportation and private non-profit organizations are eligible sub recipients of FTA grants.

### **Transportation, Community, and System Preservation Program**

The Transportation, Community, and System Preservation (TCSP) Program is a comprehensive initiative of research and grants to integrate transportation, community, and system preservation plans and practices that improve the efficiency of the transportation system of the United States; reduce environmental impacts of transportation; reduce the need for costly future public infrastructure investments; ensure efficient access to jobs, services, and centers of trade; and examine community development patterns and identify strategies to encourage private sector development patterns and investments that support these goals. States, metropolitan planning organizations, local governments, and tribal governments are eligible

### **Bicycle and Pedestrian Program**

The Federal Highway Administration's Bicycle and Pedestrian Program promotes bicycle and pedestrian transportation use, safety, and accessibility. The Program is responsible for implementing Federal transportation legislation and policy related to bicycling and walking. This is not a funding program. Pedestrian and bicycle projects and programs are eligible for almost all Federal-aid highway funding categories. Each State has a Bicycle and Pedestrian Coordinator in its State Department of Transportation to promote and facilitate nonmotorized transportation, including developing pedestrian and bicycle facilities and public educational, promotional, and safety programs. Pedestrian and bicycle projects and programs are eligible for almost all Federal-aid highway funding categories. Applicants should consult program eligibility criteria available in their State. The State Bicycle and Pedestrian Coordinators can help with questions specific to each State.

### **Transportation Enhancement Activities**

Transportation Enhancement (TE) activities offer funding opportunities to expand transportation choices and enhance the transportation experience through 12 eligible TE activities related to surface transportation, including pedestrian and bicycle infrastructure and safety programs, scenic and historic highway programs, landscaping and scenic beautification, historic preservation, and environmental mitigation. TE projects must relate to surface transportation and must qualify under one or more of the 12 eligible categories. Each State develops its own procedures to solicit and select projects for funding. States may make funds available to Federal, Tribal, State, or local government agencies. A few States allow private nonprofit organizations to apply in partnership with a government agency.

### **The Safe Routes to School Program**

The purpose of the Safe Routes to School (SRTS) Program is to enable and encourage children, including those with disabilities, to walk and bicycle to school; to make walking and bicycling to school safe and more appealing; and to facilitate the planning, development and implementation of projects that will improve safety, and reduce traffic, fuel consumption, and air pollution in the vicinity of schools. The SRTS Program makes funding available for a wide variety of programs and projects, from building safer street crossings to establishing programs that encourage children and their parents to walk and bicycle safely to school. The Federal-aid Safe Routes to School program was created by Section 1404 of the Safe, Accountable, Flexible, Efficient Transportation Equity Act. The SRTS Program is funded at \$612 million and provides Federal-aid highway funds to State highway agencies over five fiscal years (FY 2005 - 2009), in accordance with a formula specified in the legislation. The national SRTS program is federally funded, but managed and administered by each State Department of Transportation (DOT). Funds are made available for infrastructure and non-infrastructure projects, and to administer Safe Routes to School programs that benefit elementary and middle school children in grades K-8. Each State is responsible for hiring a full-time Safe Routes to School Coordinator to implement a SRTS statewide program.

### **Recreational Trails Program**

The Recreational Trails Program, (RTP) provides funds to the States to develop and maintain recreational trails and trail-related facilities for both nonmotorized and motorized recreational trail uses. Each State develops its own procedures to solicit and select projects for funding. States may make funds available to Federal, Tribal, State, or local government agencies. Some States allow private nonprofit organizations to apply directly.

## VII. Glossary

### CROSSWALKS

The crosswalk generally refers to the most direct pedestrian pathway across a given leg of an intersection, whether marked or unmarked. For the purposes of these Guidelines, however, “crosswalk” refers to the marked portion of the street that is specifically designated for pedestrian crossing, whether at an intersection or a mid-block crossing.

#### Purpose/Benefits:

- Crosswalks clearly define the pedestrian space, enhancing safety and comfort for all users.
- Crosswalks are an important part of the pedestrian network because they form a continuation of the pedestrian’s travel path and enhance pedestrian connectivity.
- Crosswalks support the overall transportation system because other users, such as motorists, bicyclists and transit users will be pedestrians at some point during their trip and may need to cross the street.

#### Design Considerations:

- Can be installed at intersections or designated mid-block crossing locations.
- The crosswalk location should be highly visible, so the pedestrian can see and be seen by traffic while crossing.
- Signalized intersections will typically have crosswalks on all approaches.
- Installation at unsignalized intersections and mid-block locations may be affected by a number of factors, including: street classification, width of street, traffic speed and volume, use of traffic control devices such as stop signs, and surrounding land uses.
- Pedestrian crossing distance should be minimized; on some streets this may require the use of other street design elements (see Curb Extension, Pedestrian Refuge).



*Two types of crosswalks at signalized intersections. The crosswalk at the right, located in a higher-volume pedestrian location, includes enhanced paving.*

## **CURB EXTENSION**

A feature that extends from the sidewalk into the pavement at an intersection or at a mid-block crossing (also sometimes called a “curb bulb”, “neckdown” or “bulbout”). A curb extension can be hardscape, landscaped, or a mix of both.

### **Purpose/Benefits:**

- Reduces street width both physically and visually, thereby shortening pedestrian crossing distance at crosswalks and potentially helping to reduce traffic speeds.
- Provides increased visibility for pedestrians and motorists.
- Moves parked vehicles away from street corners, improving visibility.

### **Design Considerations:**

- Should be used whenever possible in pedestrian-oriented areas.
- Should also be used for transit stops, where full-time, on-street parking exists.
- Should only be used where there is a permanent parking lane.
- Should not encroach into the bike lane.
- Street furniture or plants on the curb extension should not impede motorist or pedestrian sightlines.
- Should be designed to accommodate both large and small vehicles; tight curb radii can accommodate low speed turning movements by large vehicles if the intersection is designed properly.



Curb extensions can be installed as a retro- fit, such as in the photo at the right, or, preferably, as part of the original design. They can also occur at intersections or mid-block, as shown on the left.

## CURB RADIUS

The curved section of the curb connecting the curb lines of two intersecting streets. The curb radius measurement is taken from the back of the curb.

### Purpose/Benefits:

- Defines the space for (and helps direct) vehicle turning movements at intersections.
- The curb radius dimension can affect ease and speeds of vehicular turning movements.

### Design Considerations:

- Radii should be minimized, to allow the necessary dimension for traffic, while minimizing impacts on pedestrians, cyclists, and the adjacent land uses.
- Smaller curb radii narrow the overall dimensions of the intersection, shortening pedestrian crossing distance and reducing right-of-way requirements.
- A smaller curb radius provides a more visible pedestrian waiting space at the intersection.
- Smaller radii help reduce the turning speeds of vehicles.
- A smaller radius allows for more flexibility in placement of curb ramps. With a larger radius, the ramp(s) may need to be located in the radius or will be too far from the corner for good visibility.
- Larger radii may be required on streets that carry a high percentage of truck traffic, because they allow easier turning movements for large vehicles.
- The presence of a bike lane or parking lane creates an “effective radius” that allows a smaller curb radius than might otherwise be required for some motor vehicles, because they provide extra maneuvering space for the turning vehicles.



*Two radically different curb radii. The radius to the left is very small (or “tight”), which helps to slow turning vehicles. The radius to the right is very large (or “wide”), allowing vehicles to turn more easily and quickly. Note the location of the crosswalk relative to the curve. The radius above is more conducive to pedestrian travel. Note also the different traffic characteristics the intersection below must handle a much larger volume of traffic.*

## ENHANCED PAVEMENT

Refers to the installation of materials other than the typical smooth concrete or asphalt surface within the right-of-way.

### Purpose/Benefits:

- Improves intersection and crosswalk visibility.
- Use of different paving materials can be used to better define pedestrian, bicycle and vehicular areas in the right-of-way.
- Materials can be used for aesthetic enhancement and for defining public space in general.

### Design Considerations:

- Function is an important factor when utilizing different materials, including cobblestone, brick, stamped concrete, colored concrete, and pavers. Heavily traveled truck routes, for example, may require a different surface than a lightly traveled local street.
- When choosing the type, location, and design of enhanced pavement, be sure that all potential users are considered, including those with disabilities or pushing strollers.
- Visibility during the day, at night, and in inclement weather is important in selecting the design and location of enhanced pavement.
- Avoid the use of slippery surfaces such as smooth granite in primary pedestrian areas.
- Materials such as cobblestones and brick may increase construction and maintenance costs.



*Stamped and painted asphalt is one type of enhanced pavement used to highlight a pedestrian area*

## LANDSCAPE BUFFER ZONE

A hardscaped extension of the sidewalk to the back-of-curb, typically used instead of, or alternating with, a planting strip.

### Purpose/Benefits:

- Serves as a buffer between vehicles and pedestrians.
- Provides space for street furnishings (benches, trashcans, etc.) and street trees outside of the unobstructed walking space for pedestrians.
- Street furnishings help to create a more active pedestrian environment in dense areas.
- Trees in the planting strip provide shade and additional buffering for pedestrians.
- This unpaved area can enhance the stormwater drainage system by helping to reduce run-off.
- If properly designed, the planting strip can soften the appearance of the streetscape, enhance aesthetics, and contribute to an increased sense of safety and identity along the street.

### Design Considerations:

Inclusion of an amenity zone depends upon a variety of factors, including:

- Higher intensity pedestrian-oriented uses, such as retail, office, high-density residential, and mixed uses are more likely to require the amenity zone. This is a more “urban” treatment than is a planting strip.
- The amenity zone can help to extend the sidewalk area when there are right-of-way constraints to the preferred sidewalk width. In most cases, however, the amenity zone should not be considered part of the unobstructed pedestrian pathway.
- The amenity zone should include intermittent landscaping and street trees, using appropriate planting techniques (in grates or planters, e.g.).
- Landscaping and trees in the planting strip should be placed to assure an acceptable sight distance.
- Consider increasing the width of the planting strip as travel speeds increase.
- The width of the planting strip will dictate the size and type of landscape materials to be installed.
- Generally, the wider the planting strip, the better the functionality and aesthetic value.
- The planting strip might be replaced by, or alternated with, a hardscaped “amenity zone” in more urban, higher-density contexts.
- The planting strip and its width may need to be considered against the need for other design elements if the right-of-way is limited (in retrofit situations, for example).



## PEDESTRIAN REFUGE

A protected area between traffic lanes that separates a pedestrian crossing into segments and allows pedestrians to wait safely for gaps in traffic (also called a “median refuge”, “refuge island” or “pedestrian refuge island”)

### Purpose/Benefits:

- Reduces pedestrian/vehicular conflict.
- Shortens the distance a pedestrian must cross at one time.
- Allows the pedestrian to consider traffic coming from only one direction at a time, potentially reducing confusion and increasing crossing opportunities.
- Can reduce the time a pedestrian must wait to cross by increasing the number of gaps in traffic, since the pedestrian need only cross traffic coming from one direction.

### Design Considerations:

- Typically, would be provided on wider, multi-lane roads, to reduce the effective crossing width.
- Should be signed and illuminated to identify purpose.
- Should be a minimum of 6’ wide to provide sufficient space for refuge. Wider is preferable, particularly on higher-speed streets or in areas where there may be many pedestrians crossing at one time.
- Might be used at signalized or unsignalized crosswalks, intersections, and mid-block crossings.
- Landscaping on pedestrian refuges should not impede visibility of pedestrians or drivers.
- The crosswalk should pass through the refuge at grade, for accessibility by all travelers
- Should typically include some sort of vertical element, such as landscaping or signs, so that drivers can clearly see and avoid running into the refuge.
- A key tradeoff when providing pedestrian refuge islands is the additional width required. The design team should carefully consider whether the pedestrian and the adjacent land uses are better served by a narrower crossing or by the addition of the refuge. For intersections that are already very wide, with multiple turning movements, the addition of pedestrian refuges may be the only way to improve the pedestrian crossing environment.



*The situation on the left shows why pedestrian refuges are sometimes needed on multi-lane streets. To the far right is an example of a simple pedestrian refuge at an intersection cross-walk. The middle image is an example of pedestrian refuge without a crosswalk.*

## SIGNALIZED CROSSWALKS

Signalization design includes both the physical installation of equipment and the signal operating plan. It is important that both be compatible with each other and with the geometric configuration.

### Purpose/Benefits:

- Assists pedestrians in crossing a street or highway at a marked crosswalk.
- Useful in locations where pedestrians have a difficult time finding gaps to cross multi-lane roads.

### Design Considerations:

- Typically pedestrian beacons are used on higher volume, higher speed streets.
- Signs and pavement marking must be used in conjunction with the signalized crosswalk.
- Countdown pedestrian signals and APS devices should be used when possible.
- Where anticipated pedestrian traffic is low or intermittent, or where vehicle volumes are lower and pedestrian crossings shorter, designers may consider the use of unsignalized crossing treatments such as medians, hybrid or rapid flash beacons, or raised crossings.



## STREET FURNISHINGS (STREET FURNITURE)

Physical features included as part of the streetscape, e.g. benches, bike racks, lighting, trash receptacles, and banners.

### Purpose/Benefits:

- Can improve aesthetics and provide a sense of identity for a neighborhood or commercial area.
- Enhances the functionality of the street for users other than motorists.
- Can enhance safety and protection from vehicular traffic.
- Can provide focal points for street activities.
- Provides short-term parking for bikes.

### Design Considerations:

- Street furnishings should be carefully placed so that they do not obstruct the sidewalk. In high pedestrian volume areas, they should be placed in an amenity zone. In no case should street furnishings be placed in the minimal “unobstructed” walking area.
- Placement should be strategic to each type of furnishing’s purpose, with appropriate furnishings well-located relative to bus stops, major pedestrian focal points, etc.
- The design and placement of street furnishings should not contribute to visual clutter along the street.
- Street furnishings should be carefully located relative to other features such as street trees, landscaping, adjacent land uses, and signs.



## STREET LIGHTING

Refers to the illumination of a street's travel lanes. Other portions of the street right-of-way may also be illuminated by the street lighting and/or by pedestrian-scale lighting, which specifically illuminates the sidewalk or other pedestrian areas.

### Purpose/Benefits:

- Street lighting enhances safety for all travelers, by illuminating hazards, curves, and other travelers in the street.
- Lighting can also improve safety and security around buildings and in parking areas. This may best be accomplished by a mix of street and pedestrian-scale lighting, depending on the context.

### Design Considerations:

- The optimal type and number of streetlights depends on street classification, configuration, and adjacent land uses.
- Street lighting that reduces glare or unnecessary uplighting should be considered, to ease localized light pollution. Cobraheads should be avoided.
- Consider whether pedestrian-scale lighting can be used to illuminate or define a curve or other feature and, therefore, reduce the need for streetlights in some spots (on portions of Local Streets or some residential Avenues, for example).
- Areas of high pedestrian activity or primary pedestrian routes should have pedestrian-scale lighting, which is specifically intended to illuminate the sidewalk, as opposed to the travelway. For proper illumination and to avoid glare, pedestrian-scale lighting should typically be no more than 12' in height. Even in parking areas, which may need street lighting, pedestrian-scale lighting can better define and enhance the pedestrian "space".



*The lighting on the right is pedestrian-scale lighting, intended to illuminate the sidewalk and adjacent areas. The more conventional street lighting shown on the left can also help illuminate the pedestrian areas, but is generally intended to light the travel lanes*

## TOWN OF LAKE PARK – CAPACITY ANALYSIS

*FAR: Floor Area Ratio*

*LOS: Level of Service*

DATE OF REVIEW: December 1, 2015

PROJECT APPLICANT: Town of Lake Park

REQUEST: Change the Mixed Use Overlay District development density and intensity standards as follows:  
FROM a maximum of 20 units per acre and a maximum FAR of 2.5;  
TO a maximum of 20 units per acre and a maximum FAR of 2.5 in the Urban Neighborhood Edge sub district, a maximum of 30 units per acre and a maximum FAR of 4.0 in the Urban Edge sub district, and a maximum of 40 units per acre and a maximum FAR of 6.0 in the Urban Waterfront sub district.

The 58.21 acre subject property is designated Mixed Use Overlay District on the Future Land Use Map. The Town is proposing to change the development standards of the Mixed Use Overlay District on the subject property as summarized in the request above.

The impacts in maximum development potential that would result from the Comprehensive Plan amendment are outlined in the attached “Town of Lake Park 2015 Mixed Use District Comprehensive Plan Amendment Maximum Build-out Analysis”. The impacts of maximum build-out on the Town’s ability to meet its adopted Level of Service standard are summarized below. As can be seen, the Town will continue to meet its Level of Service standards even in the event of maximum build-out under the Comprehensive Plan designation. Ultimately, however, it is unlikely that the subject property could ever be developed to maximum allowed build-out due to the site configuration, land development regulations, and other constraints.

### Level of Service Analysis

This analysis is based on those standards contained in the City’s adopted Comprehensive Plan.

#### Transportation:

Roadway Adopted LOS Standard – LOS D

Estimated trips - +24,886 trips on US-1

Current daily trips – 12,116

Projected daily trips at build out – 37,002

Current LOS – A

Projected LOS C

#### Sources:

Palm Beach County 2015 Historic Traffic Growth Table

FDOT 2013 Quality Level of Service Handbook

FDOT Generalized Annual Average Daily Volumes for Florida’s Urbanized Areas

### Potable Water:

Residential LOS Standard - 97 gallons per capita per day  
Non-residential LOS Standard - 1,777 gallons per acre/day  
Estimated impact – + 303,879 gallons per day  
Current consumption (Seacoast Utility Authority service area) – 13.3 million gallons per day  
Projected consumption at build out – 13.6 million gallons per day  
Current capacity – 30.5 million gallons per day

#### Sources:

Seacoast Utility Author Engineer's Report on the Physical Condition of the System  
Seacoast Utility Authority website, [www.sua.com](http://www.sua.com)

### Sanitary Sewer:

Residential LOS Standard– 66 gallons per capita per day  
Non-residential LOS Standard – 1,089 gallons/acre/day  
Estimated impact - +201,552 gallons per day  
Current consumption (Seacoast Utility Authority service area) – 5.16 million gallons per day  
Projected consumption at build out – 5.18 million gallons per day  
Current capacity – 12 million gallons per day

#### Sources:

Seacoast Utility Author Engineer's Report on the Physical Condition of the System  
Seacoast Utility Authority website, [www.sua.com](http://www.sua.com)

### Solid Waste:

Solid Waste  
LOS Standard – 3.43 lbs./capita/day for residential, 112.56 lbs./acre/day for commercial  
Estimated impact at build out - +13,314 lbs. /day  
Palm Beach County Solid Water Authority has capacity to convert all solid waste generated in County into electricity for the next 20 years

#### Sources:

Palm Beach County Solid Waste Authority, [www.swa.com](http://www.swa.com)

### Parks & Recreation:

LOS Standard – 2.5 acres/1,000 residents  
Estimated impact - +6.85 acres  
Current park acres required to meet LOS Standard – 21 acres  
Projected park acres required to meet LOS Standard at maximum build out – 27.85 acres  
Existing park acreage – 31.9 acres

Sources:

City park inventory

Schools:

LOS Standard - Enrollment not to exceed 110% of capacity (measured in Concurrency Service Areas (CSAs))

Estimated impact of maximum build out - +350 students (+168 elem., +77 middle, +105 senior)

Current enrollment, elementary schools in CSA 5 – 3,744 students

Projected elementary school enrollment at maximum build out – 3,912 students

Capacity, elementary schools in CSA 5 – 5,111 students stations

Current enrollment, middle schools in CSA 5 – 1,577 students

Projected middle school enrollment at maximum build out – 1,654 students

Capacity, middle schools in CSA 5 – 2,756 students stations

Current enrollment, high schools in CSA 5 – 1,523 students

Projected high school enrollment at maximum build out – 1,628 students

Capacity, high schools in CSA 5 – 1,733 students stations

Sources:

October 2015 FTE Report School Concurrency Table, Palm Beach County Public Schools

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*\*\*blue language are existing Comprehensive Plan provisions that were incorporated in 2009; black is language which has been in existence in the Comprehensive Plan for several years. Yellow highlighted areas are of particular interest for the Mixed-Use zoning overlay district; CAPACITY ANALYSIS IS ENCLOSED\*\**

FUTURE LAND USE ELEMENT

3.3 GOAL, OBJECTIVES AND POLICIES

3.4.1 Town Goal Statement

Ensure that the historic small town character of Lake Park is maintained, while fostering development and redevelopment that is compatible with and improves existing neighborhoods and commercial areas. The Town shall maintain and seek opportunities to improve its ability to provide: (1) a full range of municipal services; (2) a diversity of housing alternatives consistent with existing residential neighborhoods; (3) commercial, industrial and mixed-use development opportunities that will further the achievement of economic development goals; and (4) a variety of recreational activities and community facilities oriented to serving the needs and desires of the Town. Various land use activities, consistent with these Town character parameters, will be located to maximize the potential for economic benefit and the enjoyment of natural and man-made resources by residents and property owners, while minimizing potential threats to health, safety and welfare posed by hazards, nuisances, incompatibles land uses and environmental degradation.

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3.3.2 Objectives and Policies

OBJECTIVE 1: Future growth and development shall be managed through the Future Land Use Plan Map and Comprehensive Plan, as implemented by land development regulations which : (1) coordinate future land uses with appropriate topography, soil conditions and the availability of facilities and services; (2) encourage the prevention, elimination or reduction of uses inconsistent with the Town goal statement and future land use plan; and (3) encourage redevelopment, renewal or renovation, that maintains or improves existing neighborhoods and commercial areas; (4) facilitate the achievement of economic development, historic preservation, resource preservation, and other key goals; and (45) discourage the proliferation of urban sprawl. New, revised, or redeveloped uses of land shall be consistent with the designations shown on the Future Land Use Map (FLUM). The achievement of the maximum density or intensity on a development or redevelopment site, and all development and redevelopment approvals, shall be contingent upon, and limited by, the provision of data and analysis that demonstrates the ability to meet adopted Level of Service Standards in the short term (five-year) planning horizon. Improvements necessary to achieve the Level of Service Standard as a result of development or redevelopment must be programmed in the Five Year Capital improvements schedule as condition for the development approval. It is the Town's intent to promote development and redevelopment in accordance with the Future Land Use Plan Map over a 20 year long-range planning period, and only to permit development or redevelopment when services are in place or planned to meet the increased demand, in accordance with the concurrency management system. Concurrency, site constraints, and other factors will ensure that redevelopment happens in a deliberate and controlled manner, and may inhibit the developers' ability to achieve maximum build-out.

Policy 1.1: Land Development Regulations shall be amended as necessary to contain specific and detailed provisions required to implement the adopted Comprehensive Plan and which as a minimum:

- a. Regulate the subdivision of land;

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- b. Regulate the use and intensity of land development consistent with this element to ensure the compatibility of adjacent land uses;
- c. Regulate areas subject to seasonal and periodic flooding by requiring adequate drainage and storm water management
- d. Regulate signage
- e. Ensure safe and convenient onsite traffic flow and vehicle parking needs;
- f. Ensure that public facility, utility and service authorization has been procured prior to issuing any development order;
- g. Provide that development orders and permits shall not be issued which result in a reduction of the level of services for the affected public facilities below the level of service standards adopted in this Comprehensive Plan;
- h. Ensure the proper maintenance of building stock and property by continually adopting, updating and enforcing adopted housing, building and related codes;
- i. Discourage the proliferation of urban sprawl;
- j. Encourage redevelopment, renewal or renovation, that Maintains or improves existing neighborhoods and commercial areas;
- k. Eliminate and/or reduce use of land inconsistent with the Future Land Use Map and the community's character, and;
- l. Facilitates the achievement of economic development, historic preservation, resource preservation, and other key goals.

Policy 1.2: Land development regulations shall address the location and extent of land uses in accordance with the Future Land Use Map. Future Land Use Map Districts may include residential, non-residential and public, semi-public and institutional uses such as schools, public facilities, recreational uses, etc., as indicated on the Future Land Use Map and regulated by the Town Zoning Code.

Policy 1.3: Land development regulations adopted to implement this Comprehensive Plan shall be based on and consistent with the standards for residential land use densities provided in Section 3.4.3 of this

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Element, titled “Future Land Use Classification System”. Please note that the ability to achieve these densities shall be contingent upon, and limited by, the ability to meet adopted Level of Service Standards in the short term planning horizon.

Policy 1.4: Land Development regulations adopted to implement this Comprehensive Plan shall be based on and be consistent with the following standards for commercial land use intensities provided in Section 3.4.3 of this Element, titled “Future Land Use Classification System”. Please note that the ability to achieve these intensities shall be contingent upon, and limited by, the ability to meet adopted Level of Service Standards in the short term planning horizon.

Policy 1.5: The Town shall encourage the development and redevelopment of activities which will substantially increase the tax base while minimizing negative impacts on natural and historic resources, existing neighborhoods and development, and adopted Levels of Service standards.

Policy 1.6: Land development regulations shall contain performance standards which:

- a. Address buffering and open space requirements; and
- b. Landscaping requirements.

Policy 1.7: Land development regulations shall contain planned development provisions which allow design flexibility within projects under unity of title as a means of the maximum use of land, while preserving the current character of the Town.

Policy 1.8: New development shall be permitted only when central water and wastewater systems are available or will be provided concurrent with the impacts of development.

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Policy 1.9: Subdivisions shall be designed to include an efficient system of internal circulation, including the provision of collector streets to feed traffic to arterial roads and highways.

Policy 1.10: The Town shall adopt and maintain land development regulations that provide incentives for bioscience research/ bio-technology uses to encourage the clustering of that industry within the Town, and particularly within the Bioscience Research Protection Overlay (BRPO).

Policy 1.11: The Town shall ensure that an adequate amount of land is designated for bioscience research/biotechnology uses.

OBJECTIVE 2. Development and redevelopment activities shall be undertaken in a manner to ensure the protection of natural and historic resources and the Town character as prescribed in the Town Goal Statement.

Policy 2.1: The developer/owner of any site shall be responsible for the on-site management of storm water runoff in a manner so that post-development runoff rates, volumes and pollutant loads do not exceed those prescribed by the South Florida Water Management District.

Policy 2.2: The Town land development regulations shall address and limit activities which have the potential to contaminate land and water resources.

Policy 2.3: The Town shall encourage protection of potable water wellfields by regulatory authorities having land use jurisdiction in aquifer recharge areas serving Seacoast Utilities, Inc. systems.

Policy 2.4: At the time of each required Comprehensive Plan update, the Town shall consider the need for the identification, designation and protection of additional historically significant properties.

OBJECTIVE 3. All development orders and permits for future development and redevelopment activities shall be issued only if public facilities necessary to meet level of service standards are available concurrent with the impacts of the development. Further, require that all on-site lands for rights-of-way, easements, etc., be conveyed to the proper authority prior to final project approval.

Policy 3.1: The development of residential, commercial and mixed commercial/industrial lands shall be timed and staged in conjunction with provisions of supporting community facilities, such as streets, utilities, police and fire protection service, emergency medical service, and public schools.

Policy 3.2: Public facilities and utilities shall be located to: (1) maximize service efficiency; (2) minimize public costs; and (3) minimize impacts upon the natural environment.

Policy 3.3: Joint public-private efforts shall be pursued as a means of financing needed infrastructure improvements where feasible and appropriate.

Policy 3.4: Remaining properties not utilizing central water and wastewater systems shall be governed by the provisions of Florida Statutes, Chapter 381.272, Florida Administrative Code, Chapter 10D-6 and Palm Beach County Environmental Control Rule – 3, which regulate the use and installation of individual sewage disposal systems.

OBJECTIVE 4. The Town shall coordinate with appropriate governments and agencies to minimize and mitigate potential mutual adverse impacts of future development and redevelopment activities.

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Policy 4.1: Requests for development orders, permits or project proposals shall be coordinated, as appropriate, with adjacent municipalities, Metropolitan Planning Organization, Palm Beach County, Treasure Coast Regional Planning Council, Special Districts, South Florida Water Management District and State and Federal Agencies.

OBJECTIVE 5: As a substantially built-out community in an urbanized area, the Town shall promote redevelopment and infill development in a manner that is considerate to existing neighborhoods and uses, the built and natural environments, and neighboring jurisdictions.

Policy 5.1: The Town shall protect, preserve, maintain and improve its core residential neighborhoods and historic resources, and protect these areas from physical degradation and the intrusion of incompatible uses.

Policy 5.2: The Town shall foster the redevelopment of declining neighborhoods, underutilized parcels, and areas that demonstrate substandard and/or slum and blight conditions.

Policy 5.3: The Town shall foster the redevelopment of key corridors and target areas. Compact mixed use development, defined as a mixture of at least two different land uses in a design-unified, vertically and or horizontally integrated, pedestrian-friendly environment, should be the preferred form of development and redevelopment.

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Policy 5.4: Utilize such techniques as distance requirements, buffering, landscaping, lower-intensity development, and scale-down requirements to provide appropriate transitions between uses and districts of different intensities, densities, and functions.

Policy 5.5: Develop and redevelop downtown Lake Park in a pedestrian-friendly manner through streetscape improvements, and parking regulations for new construction.

Policy 5.6: The Town, through its Land Development Regulations, shall require mitigation for landscaping off-site if development or redevelopment is unable to meet landscaping requirements on-site.

Objective 6: The Town shall protect structures and sites within its boundaries that contribute significantly to its heritage.

Policy 6.1: The Zoning and Land Development Regulations shall include safeguards to protect historical buildings under consideration for alteration from unauthorized demolition.

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Policy 6.2: Consider the publication of guidelines to assist residents and businesses with the restoration of historic buildings, and provide other technical assistance as feasible and appropriate.

Policy 6.3: The Town shall continue to designate historically significant building and sites as “Historic”, and shall protect and preserve these buildings and sites through the Historic Preservation Ordinance, as it may be amended from time to time. The Town shall also consider the benefit and feasibility of designating a local historic district within its boundaries.

Policy 6.4: The Town shall continue to maintain a database of the Town’s historic structures and sites.

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Policy 6.5: The Town shall consider the use of transfers of development rights, purchase of development rights, and other creative mechanisms to achieve its historic preservation goals while not placing an undue burden on property owners.

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Objective 7: The Town recognizes the benefits of unified architectural and design standards. The Town shall continue to develop, maintain, revise and enforce these standards as appropriate.

Policy 7.1: The Town shall continue to elicit community participation in the development of community design standards for specific neighborhoods and areas as a key component of its redevelopment and planning efforts.

Objective 8: The Town shall implement a Bioscience Research Protection Overlay (BRPO) for the purpose of promoting bioscience research / biotechnology uses and shall discourage the conversion of those uses to retail or residential uses.

Policy 8.1: The types of uses encouraged within the BRPO shall include science/ biotechnology research uses and their supporting facilities; laboratories; other industrial uses including manufacturing uses; clinical research hospitals; and commercial retail or office uses that are accessory or ancillary to bioscience research / biotechnology uses. The Town's Land Development Regulations shall implement the encouragement of these uses.

Policy 8.2: The Bioscience Research Protection Overlay (BRPO) shall be depicted on the Town's Future Land Use Map and the Town's Official Zoning Map.

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Policy 8.3: The Town shall encourage bioscience research / biotechnology uses as permitted uses within the Bioscience Research Protection Overlay (BRPO) so as to achieve, in coordination with the County and adjacent municipalities, a clustering of bioscience research / biotechnology uses, and thus to promote the intellectual exchange between researchers, scientists, students and others in the bioscience research/ biotechnology industry workforce.

Policy 8.4: The Town shall adopt and maintain land development regulations that provide incentives for bioscience development and promote a predominance of bioscience research/ biotechnology uses so as to develop a cluster of the industry within the BRPO.

Policy 8.5: Those parcels of land whose future land use and zoning designations permit bioscience research / biotechnology uses, may not be rezoned, redesignated, amended or otherwise converted to other commercial retail or residential uses, which are not clearly accessory or ancillary uses to bioscience research / biotechnology uses without the supermajority vote of the Town Commission.

Objective 9: Within in the Residential and Commercial land use the town shall implement a Mixed-Use Zoning District or Overlay Area, which allows projects consisting of a combination of at least two or more different uses within a unified development district area, such as a mix of residential, non-residential, and commercial uses in a single project. The residential component of a mixed-use project may include single family detached, attached residences, duplexes, town homes, and other types of multi-family residences, except for adult congregate living facilities. The commercial component of a mixed-use project may include, but

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is not limited to, small scale retail sales and services; business services and medical, legal, and other similar professional office type uses intended to serve the residential areas of the town. The non-residential component may include active and passive parks and recreation facilities, green space, open space, preserves, and conservation areas. It is the legislative intent that areas designated for mixed use projects should encourage and attract the development of a compatible mix of residential, non-residential, and commercial uses in a proposed development which is consistent and compatible with the Town's comprehensive plan and platted in accordance with the procedures of the Town Code and state law.

Policy 9.1: The first floor of any building in a mixed-use project that has frontage on the Federal Highway corridor, may not contain any residential uses.

Propose to eliminate as it is inconsistent with the Commercial /Residential area that does NOT include single-family lots

Policy 9.2: Single family lots located east of 2nd Street and west of Federal Highway within a Residential and Commercial Land Use District shall remain as single family lots used for residential purposes only, with no commercial or multifamily development permitted, until the Town adopts specific land development regulations for the Mixed-Use Zoning District.

Policy 9.3: A commercial only mixed use project shall only be approved through a PUD process as defined and regulated in the zoning code.

Policy 9.4: A Commercial or multifamily (including duplexes) expansion or development project that extends to the west more than 175 feet beyond the Federal Highway

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frontage line shall only occur through a design-unified mixed use redevelopment project as defined in the zoning code. Any such project must have commercial frontage on Federal Highway.

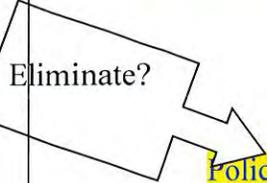
Policy 9.5: Development on the east side of Federal Highway that combines lots fronting on both Federal Highway and Lakeshore Drive shall only occur through a design-unified mixed use redevelopment project as defined in the zoning code.

Policy 9.6: A mixed use redevelopment project or a commercial only shall have a maximum F.A.R. of 2.5 (**MODIFY BASED ON PROPOSED LANGUAGE – see Capacity Analysis**) for commercial uses and residential uses may have a maximum of 20 units per gross acre (**MODIFY BASED ON PROPOSED ZONING LANGUAGE - see Capacity Analysis**). Any such project shall include open space or public amenity uses. Buildings are encouraged to be located close to the sidewalk at the front setback line, or immediately behind a public/semi-public space (i.e. outside seating). Parking in front of businesses is discouraged. Buildings fronting on streets must include appropriate *architectural street frontage* (**address in zoning language**) detailing in addition to the standard requirements for the entire building as set forth in the zoning ordinance.

Policy 9.7: To the west of Federal Highway there shall be a fully landscaped buffer/screen between any mixed use redevelopment project and a single family use or a public right of way. All such projects shall be compatible with the surrounding area.

Policy 9.8: Development along Lakeshore Drive shall maintain pedestrian oriented architecture, landscaping, and access.

Eliminate?



Policy 9.9: Public schools are a permitted use within Mixed Use districts.

44. Amend the Future Land Use Classification System as follows:

3.4.3.1.Future Land Use Classification System.

Land use categories listed as follows are hereby adopted as the “Future Land Use Classification System”:. Please note that the ability to achieve the maximum residential density and/or Floor Area Ratio (F.A.R.) is contingent upon, and shall be limited by, the ability to meet adopted Level of Service Standards in the short term planning horizon.

Single Family Residential – Single family detached residences, with a maximum density not to exceed six (6) units per gross acre including permitted accessory uses.

Low Density Residential – Single family detached residences, and clustered single family detached residents, with a maximum density not to exceed nine (9) dwelling units (du) per gross acre, including permitted accessory or conditional uses.

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Medium Density Residential - Single family detached residences, duplexes, townhouses, clustered single family detached residences, and multiple family residences with a maximum density not to exceed 19 dwelling units (du) per net gross acre, including permitted accessory or conditional uses. Public schools are a permitted use within this land use designation.

High Density Residential - Single family detached residences, duplexes, townhouses, clustered single family detached residences, and multiple family residences, with a maximum density not to exceed 204 dwelling units (du) per gross acre, including permitted accessory or conditional uses. Public schools are a permitted use within this land use designation.

Condominium Residential - Single family detached residences, duplexes, townhouses, clustered single family detached residences, and multiple family residences with a maximum density not to exceed 40 units per gross acre. Public schools are a permitted use within this land use designation.

Modify density and intensity – see Capacity Analysis

Residential and Commercial – Lands and structures devoted to promoting a compatible mix of residential at up to **20 units per gross acre** and commercial uses with a maximum **F.A.R. of 2.4** (*should be 2.5 existing-typo*) along major thoroughfares. Public schools are a permitted use within this land use designation. Residential uses shall comprise no less than 20 percent, or no more than 80 percent, of the floor area of any vertical mixed use building,

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and no less than 20 percent and no more than 80 percent of the buildings on a development site or block face.

Downtown – Mixed use development with a maximum F.A.R. of 5.0 and a maximum residential density of 27 units per gross acre. Residential uses shall comprise no less than 20 percent, or no more than 80 percent, of the floor area of any vertical mixed use building, and no less than 20 percent and no more than 80 percent of the buildings on a development site or block face.

Commercial – Lands and structures devoted primarily to the delivery, sale or otherwise transfer of goods or services on a retail basis, with a maximum F.A.R. of 2.0. This category also includes personal and professional services. Public schools are a permitted use within this land use designation.

Commercial and Light Industrial – Lands and structures devoted to light industrial uses with pollutants controlled on site, warehouses, commercial, wholesale establishments, and limited small scale commercial uses that are supportive of workers in the area such as convenience stores and restaurants and that can be carried on unobtrusively, with a maximum F.A.R. of 2.0. Specific uses are delineated in the Town of Lake Park Zoning Code.

Public Buildings and Grounds – Lands and structures that are owned, leased, or operated by a government entity such as libraries, police stations, fire stations, post offices,

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government administration buildings, and areas used for associated storage of vehicles and equipment, with a maximum F.A.R. of 3.0. Also, lands and structures owned or operated by a private entity and used for a public purpose such as a privately held by publicly regulated utility. Public schools are a permitted use within this land use designation.

Other Public Facilities – Lands and structures utilized by other public or private facilities and institutions such as churches, clubs, schools, fraternal organizations, homes for the aged and infirm, and similar uses, with a maximum F.A.R. of 3.0. Public schools are a permitted use within this land use designation.

Recreation and Open Space – Areas devoted to leisure time and outdoor recreational needs. The Recreation Overlay indicates areas that have been identified for potential future use as recreation and open Space. Areas within the Recreational Overlay may be utilized in accordance with the underlying land use designation until they are acquired for recreation and open space use. At that time, the underlying land use designation shall convert to Recreation and Open Space.

Water – All areas covered by water or any right-of-way for the purpose of conveying or storing water.

Conservation – Areas of passive outdoor recreational uses such as wildlife sanctuaries and feeding stations, nature centers and trails, outdoor research stations, walkways, and greenways. Conservation uses must not impair the natural environment or disturb the

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natural ecosystem of the area, and will not conflict with any applicable contractual agreement or management policies of the federal, state, regional, county, municipal or non-profit agency which manages the natural reservation.

Bioscience Research Protection Overlay (BRPO): The area designated on the Future Land Use Map includes land that has been determined to be appropriate to accommodate bioscience research / biotechnology uses, as well as other intellectual knowledge-based industry sectors. “*Bioscience uses*” means those land uses that support science and biotechnology research, engineering and manufacturing such uses as laboratories, educational facilities and clinical research hospitals and accessory uses, including administrative office and retail uses. Limited residential uses, which support the bioscience cluster shall be considered bioscience uses.

“Mixed Use Zoning Districts and Overlays” – a Mixed-Use Zoning District or Overlay Area, which allows projects consisting of a combination of at least two or more different uses within a unified development district area, such as mix of residential, non-residential, and commercial uses in a single project. The residential component of a mixed-use project may include single family detached, attached residences, duplexes, town homes, and other types of multi-family residences, except for adult congregate living facilities. The commercial component of a mixed-use project shall be comprised of small scale retail sales and services, business services and medical, legal, and other similar professional office type uses intended to serve the residential areas of the town. The non-residential component may include active and passive parks and recreation facilities, green space,

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open space, preserves, and conservation areas. It is the legislative intent that areas designated for mixed use projects should encourage and attract the development of a compatible mix of residential, non-residential, and commercial uses in a proposed development which is consistent and compatible with the Town's comprehensive plan and platted in accordance with the procedures of the Town Code and state law.

A mixed use redevelopment project shall have a maximum **F.A.R. of 2.5 (MODIFY)** for commercial uses and residential uses may have a **maximum of 20 units per gross acre (MODIFY)**. Any such project shall include open space or public amenity uses. Buildings are encouraged to be located close to the sidewalk at the front setback line, or immediately behind a public/semi-public space (i.e. outside seating). Parking in front of businesses is discouraged. Buildings fronting on streets must include appropriate architectural street frontage detailing in addition to the standard requirements for the entire building as set forth in the zoning ordinance. Residential uses shall comprise no less than 20 percent, or no more than 80 percent, of the floor area of any vertical mixed use building, and no less than 20 percent and no more than 80 percent of the buildings on a development site or block face. The first floor of any building in a mixed-use project that has frontage on the Federal Highway corridor may not contain any residential uses.

Annexation: Areas identified "Annexation" are not within the current Town boundaries, but have been identified for potential future annexation.